

VILLAGE OF MARVIN



Marvin Heritage District Small Area Plan

Note: This adopted Small Area Plan (including appendices), is part of the adopted Village of Marvin 2020 Land Use Plan. The adopted map included in this Small Area Plan entitled, "Marvin Heritage District Small Area Plan – Future Land Use Map," replaced the "Village of Marvin Future Land Use Map" inset, currently labeled "Possible Village Center Subzones"

Adopted: December 14th, 2021

**Amended: May 14th, 2024
(Village of Marvin 2020 Land Use Plan Amendment #2024-01)**

Prepared by the Village of Marvin Planning Department

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PURPOSE

One of eight goals adopted in the Village of Marvin 2020 Land Use Plan is to ***“Facilitate a Uniquely Identifiable Village Center that Promotes Marvin’s Heritage.”*** (Reference Goal D). Since the November 10, 2020 adoption of the 2020 Land Use Plan, Planning Staff through proactive citizen engagement began to create the official Marvin Heritage District through adopting language into the Village of Marvin Zoning Ordinance. During that process the Marvin Village Council directed Planning Staff to create the Marvin Heritage District small plan area during the Village Council Work Session on July 29, 2021.

The purpose of the Marvin Heritage District Small Area Plan is to set forth goals, policies, and implementation strategies intended to guide the present and future physical, social, and economic development of the Marvin Heritage District based upon data collected and analyses conducted addressing:

1. Inventory of existing conditions;
2. Values expressed by Citizens,
3. Citizen engagement to formulate a community vision;
4. Guiding principles for growth and development;
5. Pattern of desired growth and development and civic design, including the location, distribution, and characteristics of future land uses, form of land development and preservation, utilities, and transportation networks;
6. Plans and policies for provision of and financing of public infrastructure;
7. Recreation and open space;
8. Analysis and evaluation of implementation measures, including regulations and public investments

Applicable Excerpt of North Carolina General Statutes Regarding Adoption and Effect of Local Governments’ Comprehensive Plans, Including Their Small Area Plans

NC General Statutes, Chapter 160D, ‘Local Planning and Development,’ Article 5, ‘Planning,’ Section 160D-501, ‘Plans,’ Subsection (c), ‘Adoption and Effect of Plans,’ states, ***“...Plans adopted under this Chapter shall be advisory in nature, without independent regulatory effect. Plans adopted under this Chapter do not expand, diminish, or alter the scope of authority for development regulations adopted under this Chapter. Plans adopted under this Chapter shall be considered by the planning board and governing board when considering proposed amendments to zoning regulations as required by G.S. 160D-604 and G.S. 160D-605...”***

Note Regarding Boundary Lines on the Heritage District Small Area Plan’s Future Land Use Map

Boundaries of the Marvin Heritage District (external) and Future Land Uses (internal) shown on the Heritage District Small Area Plan’s Future Land Use Map are not zoning districts and are advisory in nature, without independent regulatory effect. These boundaries will be considered by the Planning Board and Village Council when considering map amendments (rezonings) to the Official Zoning Map. When the Planning Board and Village Council consider proposed rezonings, this map will be consulted. These boundary lines (external and internal) are generalized, and as such, are not intended to be precisely aligned with parcel lines.

DATA AND ANALYSIS

Existing Conditions

The general boundary of the Heritage District is shown on the Marvin Heritage District, Small Area Plan, General Boundary Map. Existing land uses in the general boundary of the Heritage District are shown on the Marvin Heritage District, Small Area Plan, Existing Land Use Map. The Marvin Campus of the Weddington United Methodist Church lies at the heart of the proposed Heritage District.



Weddington United Methodist Church



Aerial View of Weddington United Methodist Church and Cemetery
Source: Google Earth

The Banks Presbyterian Church property is next to the current Village of Marvin Village Hall.



Banks Presbyterian Church



Banks Presbyterian Church Cemetery



Aerial View of Banks Presbyterian Church and Cemetery
Source: Google Earth

The proposed Heritage District includes the White residence and the general store.



The White Residence



Crane General Store

Citizen Engagement

NC General Statutes Section 160D-501, Plans, (a1), Plans, states, ***“The planning process shall include opportunities for citizen engagement in plan preparation and adoption.”*** Planning during the development of the original version of the Village of Marvin 2020 Land Use Plan, adopted November 10, 2020, provided ample opportunities for citizen engagement. Over the two years leading up to the Land Use Plan’s 2020 adoption in October of 2020 and since then, numerous citizen engagement opportunities have been provided throughout the development of this small area plan.

As allowed by §N.C.G.S. 160D501(a1), two documents, [Village of Marvin, 2019 Community Survey Report](#) and [Building a Village Center and Creating Intentional Growth in the Village of Marvin, NC](#) shall be adopted by the Village of Marvin Village Council concurrent with adoption of this Small Area Plan, and in doing so, these two document are made a part of this Village of Marvin 2020 Land Use Plan – Marvin Heritage Small Area Plan. This Small Area Plan, including these two documents, shall be referenced by Planning Department staff, and appointed and elected officials when considering land use decisions to guide the present and future physical, social, and economic development within the Village of Marvin. Planning processes for these plans included opportunities for citizen engagement in document preparation.

The community’s support for creation of a Heritage District was expressed in the [Village of Marvin, 2019 Community Survey Report](#) which was carried into the Land Use Plan. (Appendix A, provides key excerpts from the [Village of Marvin 2020 Land Use Plan](#).) Prior to the adoption of the 2020 Land Use Plan, the Village of Marvin hosted a two-day public workshop on June 11th and 12th with Village staff, officials, consulting land development and design experts (Construction Professionals Network Institute and NCGrowth-SmartUp), residents, and community members to study and formulate more focused recommendations for the Heritage District. This workshop would aid in the formation of a report from CPNI and NCGrowth-SmartUp entitled, [Building a Village Center and Creating Intentional Growth in the Village of Marvin, NC](#) (hereinafter, “Village Center Report”). The Village Center Report recommended the Village prepare a form-based code as a strategy to help accommodate the growth of mixed-use development, allowing some retail, commercial, and office

space, while maintaining the aesthetic qualities that makes Marvin unique.

On November 10, 2020, the Village Council established and appointed members to the Village Center District Strategic Plan Committee (which would later be renamed as the Marvin Heritage District Strategic Plan Committee) with the primary objective, *“to create a strategic plan to guide and facilitate the development of the Marvin Heritage District.”* Over the course of its tenure, the Committee has been composed of between seven and nine members, including three members of the Planning Board. In early 2021, the Committee agreed with recommendation of the Village Center Report, that the creation of a form-based code to guide development in the Heritage District would be an appropriate tool as opposed to a conventional zoning ordinance.

Local governments in North Carolina are allowed to develop and implement form-based codes. Chapter 160D of the North Carolina General Statutes, Local Planning and Development Regulation, Article 1 authorizes local governments to divide its territorial jurisdiction into zoning districts of any number, shape, and area deemed best suited to carry out the purposes of 160D, which may regulate zoning districts through conventional as well as *“form-based districts, or development form controls, that address the physical form, mass, and density of structures, public spaces and streetscapes.”* Source of N.C.G.S Quote: [N.C.G.S. Section 160D-703\(a\)\(3\)](#)

Guiding Principles for Growth and Development

Pattern of Design, Growth, and Development.

Community participation in the [2019 Community Survey](#) provided guidance and consistency for a desired pattern of design, growth, and development within the Marvin Heritage District. This input was incorporated in the initially adopted [2020 Land Use Plan](#), and the [Village Center Report](#). The Village Center Report noted suggested strategies for ensuring “homegrown, context-sensitive, commercial development as opposed to development of large chains.” Commercial building types should mimic the allowable housing types without much deviation, to preserve the residential visual character of the Village. The Cottage Commercial Type draws upon the character of the Crane General Store (photograph above) and encourages infill of that nature. The conventional commercial square is included with the limitation of one per parent tract, which will yield at most three in total in the district. The Conventional Square Commercial will be very limited in size, having provisions to require visual variation along the frontage.

Throughout the Heritage District, pedestrian connectivity and the preservation of open space will be maximized. This is reflective of the 2019 Community Survey which showed strong support for an increase in walkability and open space, and concern that traffic is the most pressing issue in Marvin. Design standards for subdistricts protect adjacent existing neighborhoods by requiring transitional density of residential areas, and large, opaque buffers between commercial areas.

Employment Opportunities and Economic Development.

The economic development implications of the Heritage District largely depend on how Marvin decides to develop. Marvin residents and officials have expressed a desire for limited commercial development and local business development. This context is important in shaping the economic development considerations for the Village. In addition to the feasibility studies completed by the UNC’s School of Government’s Development Finance Initiative, further research may be necessary to better understand the economic development impacts of the Heritage District.

Plans and Policies for Public Infrastructure.

Limited Traffic Impact. It is difficult to predict the traffic impacts of the development of the Heritage District without a full traffic impact analysis. However, based on the current traffic situation and experience from similar cases, traffic impacts will likely be limited, especially relative to the current volumes of traffic.

Traffic impact is something that can be managed by thoughtful development of the Heritage District and adjacent neighborhoods. For example, as it stands, the Heritage District is only accessible by vehicle, meaning that any increased development in the Heritage District would likely increase traffic as residents would have to drive out of their subdivision to access the Heritage District. On the other hand, constructing sidewalks and nature trails adjacent to the subdivisions would promote walking and biking, which would have a minimal impact on traffic and could lead to a greater push for more active transportation throughout Marvin. These services could also appeal to neighboring subdivisions who are currently outside of Marvin's corporate limits.

Population Growth and Schools. The Heritage District's effect on population growth and Marvin schools will largely depend on the amount of residential development included in the district. Commercial development will have minimal impact on population growth and the school system, especially if the commercial development focuses on lower-wage work, such as food service, as employees will likely be unable to afford units in the existing housing stock.

Regarding residential development, specifically in the Marvin Heritage District, there is consensus among the community that the approximate number of residential dwelling units that could be developed under a conditional zoning district does not exceed the approximate number of dwelling units that could be constructed as the standards in the existing R-Marvin residential zoning district.

Recreation and Open Space.

Connectivity for pedestrians and cyclists should be planned throughout the Heritage District with pedestrian access to existing and future sidewalks and trails. Developments with trail networks on the Parks & Greenways Master Plan should provide trail connections from one side of the property to the other. These developments should provide connectivity to neighboring properties whenever possible to maintain continuity of travel through properties that currently remain vacant but are located where development is certain to occur. Pedestrian travel routes should be prioritized from each entryway and parking lots to each use, and the number of driveways that cross pedestrian routes should be minimized.

The pedestrian and cyclist should be prioritized over motorists when deliberating site specific design plans and amenities such as traffic calming methods, speed humps, raised crosswalks and raised intersections, pedestrian beacons/pushbuttons, and pedestrian-friendly materials.

Fishing within natural lakes, ponds, or stormwater detention ponds that are stocked could serve as another form of recreational use within the Heritage District. A catch and release fishing ordinance could help reduce maintenance costs associated with stocking water sources. Areas intended for fishing could be covered under a maintenance plan and agreement between the property owner and the Village.

Land dedicated as open space within the Heritage District as part of development proposals should be platted as such with permanent conservation. Areas platted to meet an open space requirement should be on a property owned by a common entity (such as an HOA or local non-profit) or be

dedicated to the Village, and thus cannot be used to meet the minimum lot sizes of commercial or residential buildings.

All public open spaces, parks, and trails should be constructed at minimum to the standards of the Parks & Greenways Master Plan. Additional amenities and wider trails are encouraged. All public open spaces throughout the district should be accessible and connected by pedestrian trails or sidewalks, as well as to parking lots whenever possible. Open spaces with amenities should be either free to access or the membership fee is equal in cost for both the residents of the neighborhood and all residents of Marvin.

A fee-in-lieu program could be developed for consideration as part of development standards within the Heritage District. Specifically, this program would be for when a proposed development cannot provide the required minimum percentage of open space; the fee, as well as the limit of open space that the fee could be paid in lieu of should be established by the Village Council after receiving recommendations from the Planning Board and Marvin Heritage District Strategic Plan Committee, not to reduce open space beyond a minimum percentage of the tract of the proposed development.

The following types of areas could be counted as open space with qualifying thresholds prepared for the Heritage District's design and development standards: viewshed buffers, lake areas, wetland areas, stormwater detention ponds with attractive amenities, cemeteries and native burial grounds, church groves, undeveloped areas of the Village Hall property, neighborhood clubhouses/amenities and other created or natural open spaces the Heritage District design and development standards could include.

Analysis and Evaluation of Implementation Measures

Proposed Design and Development Standards

A Form-Based Code should be prepared and adopted to provide guidance and consistency for required standards and specifications for all properties located within the Marvin Heritage District in response to the 2019 Community Survey Report and to implement the 2020 Land Use Plan and the Village Center Report. The Form-based Code should provide a blueprint for future infill development, adaptive reuse, and preservation of structures within the Marvin Heritage District that reflects the character of the area.

The Village Center Report identified key opportunity parcels for infill development, redevelopment, conservation, and preservation. During the development of the Village Center Report, the community and design team arrived at a series of basic urban design and policy principles to guide appropriate infill development in the Heritage District to promote responsible growth, planning, and development.

The Form-based Code should recognize that rural patterns of development and some building types help perpetuate the character that makes Marvin distinctive. The Code will identify a set of principles to maintain the environment that has made Marvin so desirable, as well as to encourage infill to follow the desired pattern.

The Form-Based Code should include guidelines for design and materials like that of existing structures within the Heritage District boundary.

Sub-districts, house types, and lot characteristics should be carefully selected from the current and historic character of the Marvin area. Design and development standards should be crafted from

current and historic characteristics of the Marvin area for each sub-district along with additional standards that apply to all sub-districts within the Heritage District.

Each of the four sub-district design standards set forth specifications related to building placement (lot size, lot width, setbacks, and building size) and building type. All new buildings in the Marvin Heritage District should meet the criteria of a designated building type to be provided in a Form-Based Code, and therefore should follow the prescribed minimum design standards set forth for that type, within the respective sub-districts. The Code should provide the Zoning Administrator flexibility to consider alternative architectural styles and details of residential building types when proposed alternatives meet or exceed the intent of the sub-district design standards. The minimum design standards should contain regulations for properties in the Marvin Heritage District, based upon the following sub-districts:

Residential Only Heritage District (RO-HD): A sub-district intended for solely residential buildings. This sub-district is intended to provide additional housing to boost the vibrancy and walkability of the district as a whole and should have 100% residential uses.

Mixed Use Heritage District (MU-HD): A sub-district intended to be the bulk of the central area of the district. These parcels include properties that are larger and deeper or include smaller properties that adjoin larger properties, and thus are situated to have residential in the back and commercial in the front. Developments in this district should meet the intent of Mixed-Use and should all have no more than 30% of the total area as residential uses.

Commercial Only Heritage District (CO-HD): A sub-district intended to host only commercial uses. The proximity to Village Hall and narrow properties tend to favor commercial uses, and these uses should be buffered significantly from existing residential uses.

Civic Heritage District (Civic-HD): This sub-district holds the historic churches and site of the new Marvin Village Hall. These properties should be limited to civic uses and similar building vernacular to the churches and Village Hall or other similarly civic vernacular.

Parking space standards should be prepared for the Heritage District to include minimum parking spaces by development type, location of parking lots, parking surfaces, screening of parking lots, internal landscaping, connection of parking to buildings, bicycle racks, and plug-in electric vehicle (PEV) charging stations.

Building Types

The house types were carefully selected from the current and historic character of the Marvin area. Characteristics of the Large Lot-Estate House and Medium Lot-Suburban House type were derived from homes currently in the Heritage District and neighborhoods such as Weddington Chase, Providence Downs South, and Ladera. The Cluster House type was derived from the Amber Meadows and Courtyards at Marvin neighborhoods, (but this is not intended to convey that houses of these types must be age-restricted), Ardrey and Ardrey Commons off of Wade Ardrey Road. The Greek Revival/Southern Colonial House type uses the same dimensions of the Estate House type, but emphasize the architectural significance of former and existing houses along New Town Road, such as the McIlwain-Suggs House and the J. J. Rone House. The Cottage and Bungalow House types reflect existing buildings in the District, and similar buildings in the region.

General Standards for All Buildings:

- All buildings should have a maximum height of 35’.
- The primary façade of the building should face the main pedestrian travelway whenever possible, with a secondary façade facing the parking lot. Buildings are encouraged to have two entrances if the parking lot and pedestrian routes are on different sides of the building. (Example: Five Guys, Cold Stone in Blakeney).
- Special Consideration must be given to the “Terminate Vista” Locations, which are across from the Southbound Marvin Road approach, the Northbound Waxhaw-Marvin Road approach, and the Westbound and Eastbound New Town Road Approaches. See Exhibit D for the locations of Terminate Vistas.
- Only Larger Lot Houses (Colonial, and Village House Building Types) can be built adjacent to existing Rural Neighborhoods.
- ADA-Accessible entrances should be available on all buildings intended for commercial use.
- Residential Buildings should be one dwelling unit. Additional Dwelling Units that are accessory to a primary dwelling unit, whether attached or detached, should be prohibited. Dwelling Units that are accessory to a building whose primary use is commercial may be considered with a Special Use Permit.
- Accessory Use Structures should be permitted per 151.054(B). Outdoor Swimming Pools for individual houses and Agricultural Buildings intended to house animals should not be permitted on lots less than half an acre in size.
- Equipment and outdoor storage should be screened to be fully opaque from every reasonable pedestrian travelway and public right-of-way. Mechanicals and waste collection should not be located in the front yard of any building or between the building and a major road.

(This area intentionally left blank)

Large Lot – Estate House

General: Detached Residential Building.

Recommended Size Range: 5,000 to 7,000 sq. ft.

Maximum Footprint (No max., No min.)

Height: 2 – 2.5 stories.

Notes:
 Modeled after homes in and adjacent to the district, and Marvin at large
 Varying roof pitches, wall offsets, and façade materials.
 Can be in residential or commercial zones
 Should avoid front-facing garages



HD-MU ●
HD-CO
HD-RO ●
HD-CIVIC

Large Lot Building Precedent Imagery



*Precedent images are for illustrative purposes only, with no regulatory effect. They are provided as examples, and should not imply that every element in the photograph is permitted.

Medium Lot - Suburban House

General: Detached Residential Building.

Recommended Size Range: 2,500 -5,000 sq. ft.

Maximum Footprint: (No max., No min.)

Height: 1.5-2.5 stories.

Notes:

Modeled after homes adjacent /located in Marvin with a small total footprint
 Varying roof pitches, wall offsets, and façade materials.

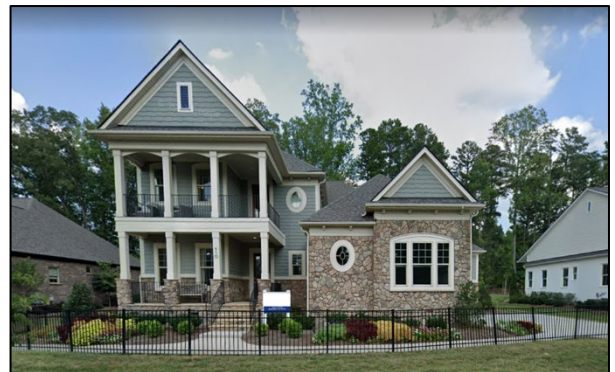
Can be in residential or commercial zones

Should avoid front-facing garages



HD-MU ●
HD-CO
HD-RO ●
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Medium Lot Building Precedent Imagery



*Precedent images are for illustrative purposes only, with no regulatory effect. They are provided as examples, and should not imply that every element in the photograph is permitted.

Small Lot – Cluster House

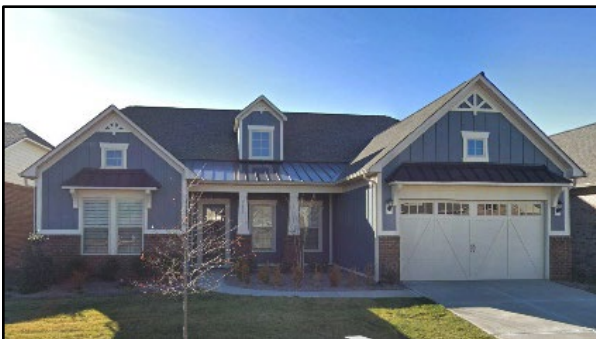
General: Detached Residential Building.
Recommended Size Range: 2,000 - 5,000 sq. ft.
Maximum Footprint (not including porches): 3,000 sq. ft.
Height: 1-2 stories.

Notes:
 Modeled after a Marvin area small lot home;
 can be bungalow or cottage style
 Can have porches
 Can have 1, 1.5, or 2 stories



HD-MU ●
HD-CO
HD-RO ●
HD-CIVIC

Small Lot Home Precedent Imagery



*Precedent images are for illustrative purposes only, with no regulatory effect. They are provided as examples, and should not imply that every element in the photograph is permitted.

Cottage Commercial

General: Detached Commercial Building.

Size Range: 600 – 3,000 sq. ft.

Maximum Footprint (not including porches): 3,000 sq. ft.

Height: 1 – 1.5 stories.

Notes:

A shopfront building.

Similar to the historic Crane Store on New Town Road (top left).

Typically 18' – 30' wide, but may vary.

Unenclosed arcades, porches, awnings and/or similar are required.

Characterized by front gable roof.



HD-MU



HD-CO



HD-RO

HD-CIVIC

Commercial Cottage Precedent Imagery



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Village House

General: Detached Commercial Building.

Size Range: 1,000 – 5,000 sq. ft.

Maximum Footprint (not including porches): 5,000 sq. ft.

Height: 1 – 2.5 stories.

Notes:

A shopfront building, can have multiple "fronts".

Porches, arcades, varying pitch directions, and Tudor or Victorian features are typical.



HD-MU ●
HD-CO ●
HD-RO
HD-CIVIC

Village House Precedent Imagery



*Precedent images are for illustrative purposes only, with no regulatory effect. They are provided as examples, and should not imply that every element in the photograph is permitted.

Greek Revival/Southern Colonial

General: Detached Mixed Use Building.
Size Range: 3,000 – 7,000 sq. ft.
Maximum Footprint (not including porches): 5,000 sq. ft.
Height: 2 – 2.5 stories.

Notes:

Modeled after the McIlwain-Suggs house (bottom left) and Rone House on Marvin Road (top right)
 Typically two stories with a flat front, columns, porch, and balcony on second floor.
 May have external staircase to access second floor commercial.



HD-MU ●
HD-CO ●
HD-RO ●
HD-CIVIC

Greek Revival/Southern Colonial Precedent Imagery



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Bungalow

General: Detached Mixed Use Building.

Size Range: 1,000 – 1,500 sq. ft.

Maximum Footprint (not including porches): 1,500 sq. ft.

Height: 1 – 1.5 stories.

Notes:
 Modeled after the 1900's bungalow on New Town Road (top right)
 Characteristics include a small footprint, full front porch, side gable or hip roof, dormers, verandas, and an open floor plan.
 Second story built into the sloped roof.
 This housing type is intentionally generic.



HD-MU	●
HD-CO	●
HD-RO	●
HD-CIVIC	

Bungalow Precedent Imagery



*Precedent images are for illustrative purposes only, with no regulatory effect. They are provided as examples, and should not imply that every element in the photograph is permitted.

Conventional Square Commercial

General: Detached Commercial Building.

Size Range: up to 15,000 sq. ft.

Maximum Footprint (not including porches): 15,000 sq. ft.

Height: 1 – 1.5 stories.

Notes:

This building is meant to facilitate limited 10,000-15,000 s.f. uses.

Must be 3 or 4-sided, with varying wall depths, windows, and limited blank massing

Pitched roof and barn vernacular is required



HD-MU ●
HD-CO
HD-RO
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Square Commercial Precedent Imagery



(Example used for architecture, not size)



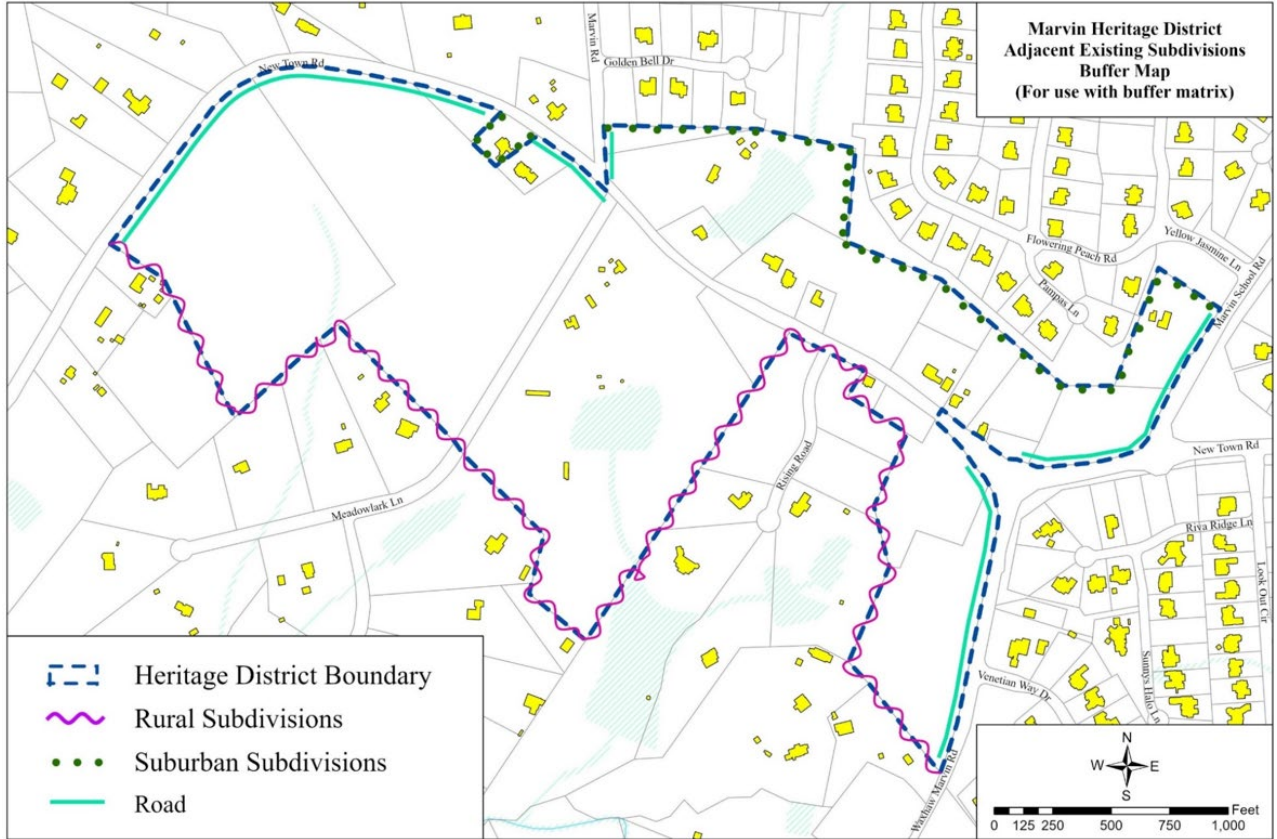
*Precedent images are for illustrative purposes only, with no regulatory effect. They are provided as examples, and should not imply that every element in the photograph is permitted.

Allowable Adjacent Uses and Buffer Matrix

PROPOSED USE	EXISTING USE		
	Rural Residential	Suburban Residential	Major Road
MU & RO Large Lot Suburban Residential (1 acre lot minimum)	25 foot tree buffer	25 foot tree buffer	85 foot tree buffer
MU & RO Medium Lot Residential (20,000 s.f. lot minimum)	50 foot tree buffer	25 foot tree buffer	85 foot tree buffer
MU & RO Small Lot Cluster Residential (10,000 s.f. lot minimum)	A No Cut tree/vegetation buffer width of 75 feet shall be preserved. If existing trees do not provide a fully opaque buffer, vegetative screening must be installed and maintained to enhance the buffer within the 75 foot buffer width.	25 foot tree buffer	100 foot tree buffer
MU – Commercial	<i>Not Allowed to be Directly Adjacent</i>	<i>Not allowed to be Directly Adjacent</i>	50 foot viewshed/ public plaza space
CO – Commercial	<i>Not Allowed to be Directly Adjacent</i>	100 foot tree buffer from new buildings and as much depth as possible for existing buildings and 1 row of evergreens	50 foot viewshed/ public plaza space (existing buildings exempt from min. depth)
MU – Existing	2+ Rows of Evergreens and Opaque Fence	1 Rows of Evergreens and Opaque Fence	1 row of canopy trees 40' apart
Civic – All Uses	50 foot tree buffer	50 foot tree buffer, more may be considered as minimum for special uses	50 foot viewshed/ public plaza space
All Districts – Open Spaces	25 foot tree buffer	25 foot tree buffer	25 foot tree buffer

Notes:

- Tree species for landscaping shall be chosen from the Appendices of Chapter 93 and approved by the Planning and Zoning Administrator or Urban Forester.
- Fences shall be between 5’ and 8’ in height and have natural themes (brick, wood, no chain-link) and variation in relief and height across the expanse.



Residential and Internal Commercial Cross Section.

The Residential and Internal Commercial Cross Sections can be flexible depending on the needs and design of the development but should consist generally of the components below.

Travel Lane (10' – 12' width): The travel way can be one-way or two-way depending on the design of the neighborhood. There should only be one lane per direction on any street in the district unless specified by NCDOT or the Village Engineer.

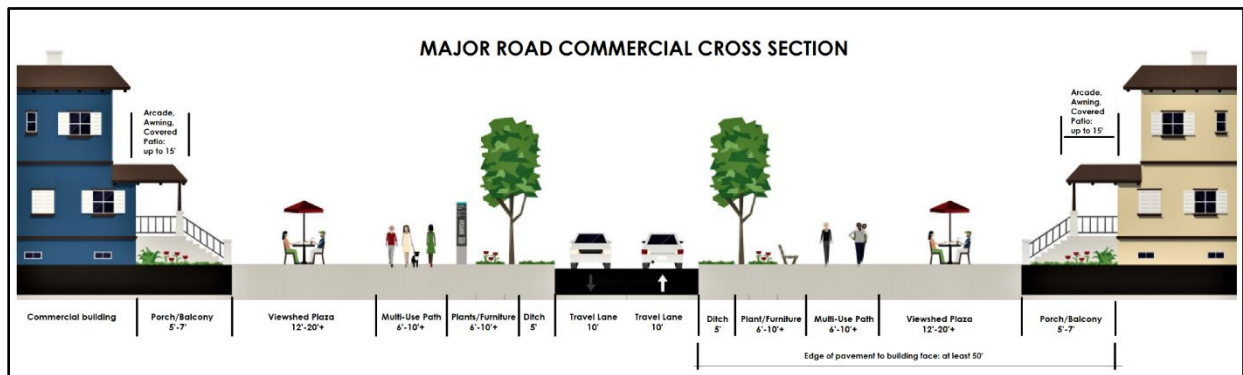
On street parking on one side only (7' – 9' width incl. Curb and Gutter (1' – 2')): This is optional and can be encouraged based on the design of the site to help with traffic calming.

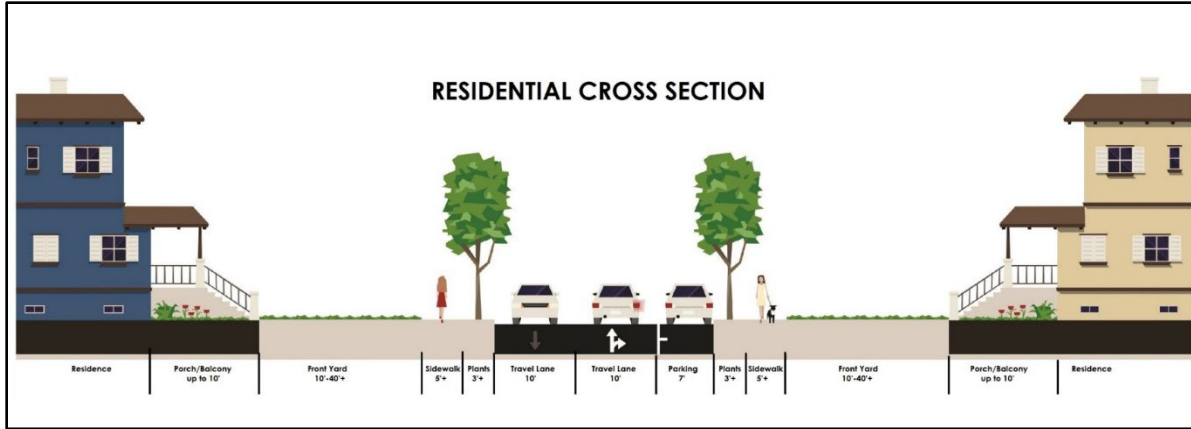
Planting Strip (2' – 5'): Trees and planting strip width should be considered in tandem such that there is enough room for roots to grow depending on the species. Tree pits, Rubbery asphalt, pavers, and other methods should be considered to protect the long-term health of trees in the planting strip.

Sidewalk on any side of the street that has buildings (5' – 8'): The pedestrian experience should be considered when deliberating the cross section and pedestrian travel routes. Materials, minimized crossings, landscaping, raised crossings, etc. should all be considered in the design phase to maximize pedestrian safety and comfort.

Lawns and Porches. There should be no minimum or maximum depth for lawns and balconies in this section, however, the building type front setback should still apply. For the purposes of this district, the setback should be measured from the front face of the building to the edge of the right-of-way. Any porch or balcony may extend past the building front setback line.

The following cross sections are representative of acceptable cross sections, but not the exact or only allowed cross section.





Phased Steps of Public Investments.

The streetscape is a vital component of the Heritage District, and so the construction of amenities and features along major roads should be coordinated between the Village and potential developers. Typical streetscapes along major roads should be carefully considered and addressed in the Heritage District’s design and development standards, regarding the width between the edge of pavement and the front face of buildings.

During the Heritage District charrette, many participants raised concerns about the heavy traffic along New Town Road. This heavy traffic presents safety and pedestrian accessibility concerns as well as concerns about future congestion on New Town Road. Additionally, there are two traffic circles in the Heritage District with a third planned for 2022 at Marvin and New Town Road, which could potentially contribute to heavier traffic.

The Marvin Loop Trail (North side of New Town Road, with crosswalks across New Town Road in some places) is a federally funded project and should be incorporated in all applicable site plans in the Heritage District. The Village should consider a requirement to have developers fund their proportionate portion of the local match of the trail or construct that section of the trail. Developments should create an easement or create a property which will be dedicated to the Village for the Loop Trail. Other grants may be pursued by the Village to fund trails and open spaces while developers could be invited to assist with the applications for grants as desired.

Public open spaces not dedicated to the Village should be maintained privately and obligated by a maintenance plan and agreement.

It is recommended that a Municipal Service District is established to create revenue to use funds for certain installation and maintenance of infrastructure and amenities in the Marvin Heritage District. Article 23 of North Carolina General Statutes 160A sets forth certain requirements and conditions for the establishment of Municipal Service Districts (MSD’s). Upon finding that an area within a local government is in need of certain services and that a proposed MSD area meets the specific standards of NCGS 160A - 536 and 537, local governments may define by ordinance a district within their corporate jurisdiction where the local government can levy property taxes in addition to those levied in the rest of the corporate jurisdiction. In the case of the Village of Marvin, the Village Council must determine that a proposed MSD area, to a demonstrably greater extent than the rest of the Village, is in need of one or more services, facilities, or functions listed in NCGS 160A-536 to generate additional revenue collected by establishing the MSD to focus additional financial resources on maintaining and improving the Marvin Heritage District area.

GOALS AND OBJECTIVES

Core Land Use Policy

CORE LAND USE POLICY D. VILLAGE CENTER DEVELOPMENT: FACILITATE A UNIQUELY IDENTIFIABLE VILLAGE CENTER THAT PROMOTES MARVIN’S HERITAGE

Goals and Objectives

PRINCIPLE GOAL: Foster a Village center (hereinafter named the “Marvin Heritage District”, “MHD” or “Heritage District”) that pays tribute to our rural heritage, incorporates pedestrian-oriented design, neighborhood uses and inter-connected greenways; all arranged to highlight Marvin’s rural character.

D.1. Goal 1: ESTABLISH THE PURPOSE, LOCATION, PHYSICAL ELEMENTS AND SCOPE OF DEVELOPMENT STANDARDS TO GUIDE CREATION OF THE HERITAGE DISTRICT

D.1.1 Objective 1: Facilitate a local destination of the Heritage District for residents, families and the community.

D.1.2 Objective 2: Develop a Heritage District between Marvin School Road and Marvin Road, along New Town Road.

D.1.3 Objective 3: Delineate the Heritage District using streetscapes, pedestrian-oriented travelways, furnishings and architecture.

D.1.4 Objective 4: Create Overlay Standards which would guide the creation of the Heritage District.

2. Goal 2: PREPARE STANDARDS AND SPECIFICATIONS TO GUIDE THE CHARACTER AND DESIGN THEMES FOR THE HERITAGE DISTRICT

D.2.1 Objective 1: Facilitate the creation of an identifiable Heritage District designed to give Marvin a uniquely identifiable character.

D.2.2 Objective 2: Require that signs and fixtures reflect rural themes.

D.2.3 Objective 3: Preserve, protect or enhance historically significant sites, buildings and natural scenic areas in the Heritage District.

D.2.4 Objective 4: Establish standards for distinct architecture that exhibits Marvin’s rural character.

D.3. Goal 3: PREPARE PLANNING, DESIGN AND DEVELOPMENT STANDARDS FOR THE HERITAGE DISTRICT

D.3.1 Objective 1: Create a walkable, compact core of neighborhood-friendly commercial, civic and public uses and spaces.

- D.3.2 Objective 2: Require usable open space and recreational amenities in conjunction with development within the Heritage District.
- D.3.3 Objective 3: Protect and highlight Marvin’s tree lines and the stands o heritage trees located in the Heritage District.
- D.4. Goal 4: *PREPARE PEDESTRIAN-FRIENDLY DESIGN STANDARDS FOR THE HERITAGE DISTRICT*
- D.4.1 Objective 1: Require the development of safe pedestrian travelways, recreation areas and greenspaces with each new use in the Heritage District.
- D.4.2 Objective 2: Provide a network of greenways that connect green spaces and destinations in the Heritage District.
- D.4.3 Objective 3: Provide pedestrian furnishings along landscaped buffers that line Heritage District roadways.
- D.5. Goal 5: *SUPPORT REDEVELOPMENT AND INFILL DEVELOPMENT IN THE HERITAGE DISTRICT*
- D.5.1 Objective 1: Support infill development that is architecturally compatible with design themes for the Heritage District.
- D.5.2 Objective 2: Support adaptive reuse of single-family units architecturally consistent with new and old development in the Heritage District.
- D.5.3 Objective 3: Promote adaptive reuse or preservation of buildings and sites with historic value in the Heritage District.
- D.6. Goal 6: *PREPARE DESIGN AND DEVELOPMENT STANDARDS FOR THE HERITAGE DISTRICT THAT ENSURE THE SCALE AND LAND USES OF NONRESIDENTIAL USES ARE APPROPRIATE FOR NEIGHBORHOOD NEEDS OF LOCAL RESIDENTS*
- D.6.1 Objective 1: Prepare design and development standards specifications for nonresidential uses to establish architectural style, maximum building size and height limits in the Heritage District.
- D.6.2 Objective 2: Ensure the scale of nonresidential development is appropriate for neighborhood needs of local residents.
- D.6.3 Objective 3: Prohibit large-scale uses and high-volume traffic generators in the Heritage District.
- D.7. Goal 7: *PREPARE A TABLE OF PERMITTED USES FOR THE HERITAGE DISTRICT*
- D.7.1 Objective 1: Permit residential uses in the Heritage District.
- D.7.2 Objective 2: Permit low-impact specialty shops, services, restaurants,

office and civic uses.

D.7.3 Objective 3: Permit civic and institutional-type uses that encourage community gathering (e.g. libraries and parks).

D.7.4 Objective 4: Encourage desirable, small-scale uses.

D.8. Goal 8: *MIMIMIZE TRAFFIC IMPACTS AND MANAGE TRAFFIC CONCERNS*

D.8.1 Objective 1: Carefully consider traffic and other potential impacts on adjacent neighborhoods and the Heritage District area.

D.8.2 Objective 2: Minimize any high-traffic Permit low-impact specialty shops, services, restaurants, office and civic uses.

D.8.3 Objective 3: Permit civic and institutional-type uses that encourage community gathering (e.g. libraries and parks).

D.8.4 Objective 4: Encourage desirable, small-scale uses.

D.9. Goal 9: *PARKING*

D.9.1 Objective 1: Ensure parking areas are well-lit and well-screened from adjacent roadways.

D.9.2 Objective 2: Locate parking and other utilitarian uses behind building façade lines, streetscapes and landscaping.

D.9.3 Objective 3: Encourage and provide incentives for shared parking solutions within the Heritage District.

D.10. Goal 10: *PARKING*

D.10.1 Objective 1: Limit impact on the natural environment, adjacent neighborhoods, and surrounding roads.

D.10.2 Objective 2: Require buffers between nonresidential structures, adjacent neighborhoods and along roadways.

D.10.3 Objective 3: Ensure the protection of trees and appropriate landscaping.

D.11. Goal 11: *PUBLIC INVOLVEMENT AND HERITAGE DISTRICT CONCEPT CREATION*

D.11.1 Objective 1: Utilize and rely on resident opinions provided in the Land Use Plan Survey to draft the Heritage District design and development standards.

D.11.2 Objective 2: Draft Standards and provide preliminary sketches, idea boards and opportunities for resident input.

D.11.3 Objective 3: Encourage citizen participation, invite inspired ideas, listen to concerns and troubleshoot prospective challenges.

D.12. Goal 12: ESTABLISH A MUNICIPAL SERVICE DISTRICT FOR THE HERITAGE DISTRICT

It is recommended that a Municipal Service District is established to create revenue to use funds for certain installation and maintenance of infrastructure and amenities in the Marvin Heritage District.

Article 23 of North Carolina General Statutes 160A sets forth certain requirements and conditions for the establishment of Municipal Service Districts (MSD's). Upon finding that an area within a local government is in need of certain services and that a proposed MSD area meets the specific standards of NCGS 160A - 536 and 537, local governments may define by ordinance a district within their corporate jurisdiction where the local government can levy property taxes in addition to those levied in the rest of the corporate jurisdiction. In the case of the Village of Marvin, the Village Council must determine that a proposed MSD area, to a demonstrably greater extent than the rest of the Village, is in need of one or more services, facilities, or functions listed in NCGS 160A-536 to generate additional revenue collected by establishing the MSD to focus additional financial resources on maintaining and improving the Marvin Heritage District area.

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MARVIN HERITAGE DISTRICT SMALL AREA PLAN – FUTURE LAND USE MAP

While the Marvin Heritage District is envisioned as an integrated seamless grouping of land uses and building types, the geographic area of the overall district to be regulated by future design and development standards, are organized into the following four future land use designations within the general boundary of the Heritage District depicted in the map entitled, “Marvin Heritage District Small Area Plan – Future Land Use Map.”

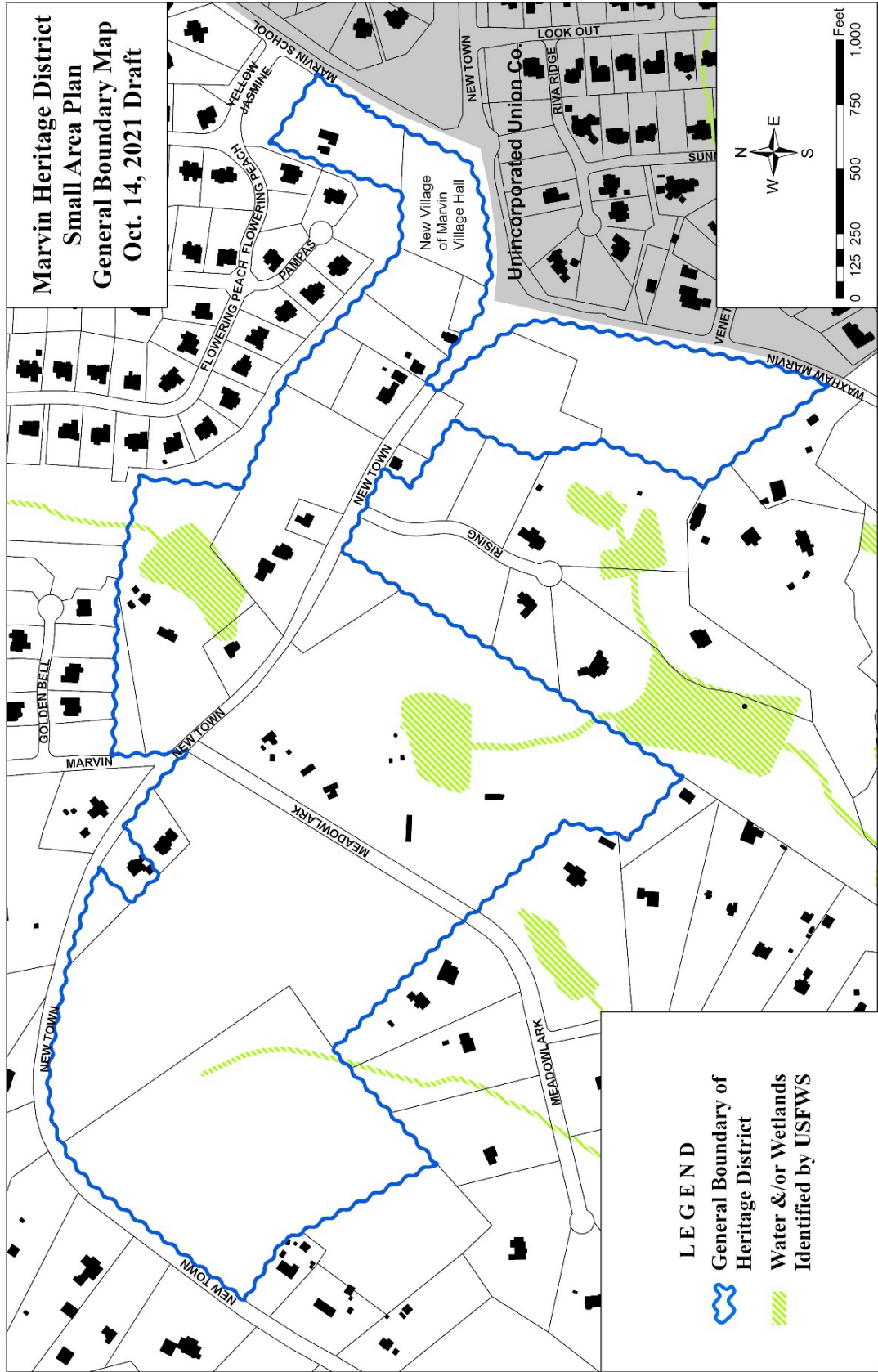
- Residential Only Heritage District (RO-HD);
- Mixed Use Heritage District (MU-HD);
- Commercial Only Heritage District (CO-HD); and
- Civic Heritage District (Civic-HD).

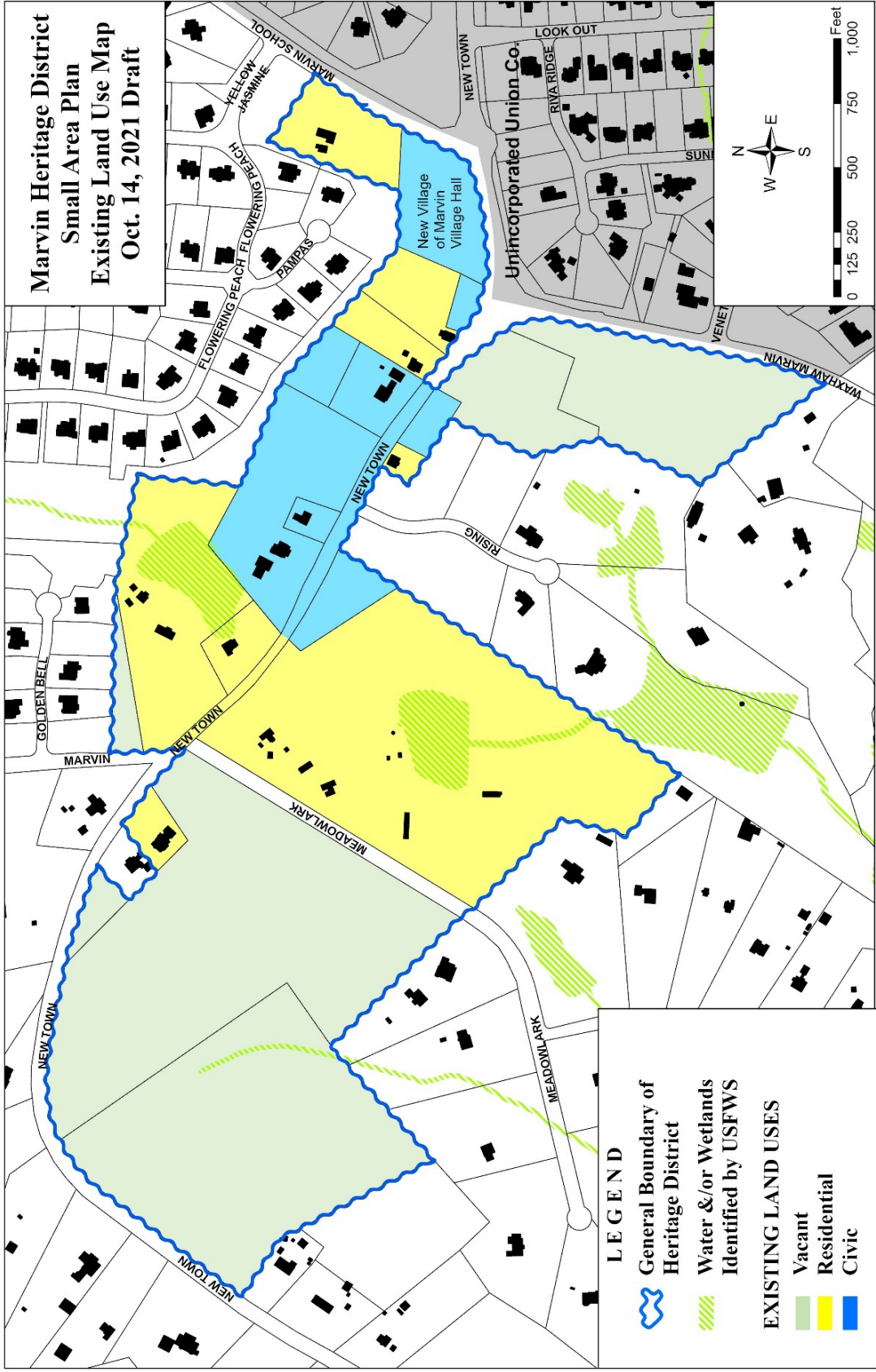
Residential Only Heritage District (RO-HD): The future land use for this designation is intended for solely residential buildings. This future land use is intended to provide additional housing to boost the vibrancy and walkability of the District as a whole, and should have 100% residential uses.

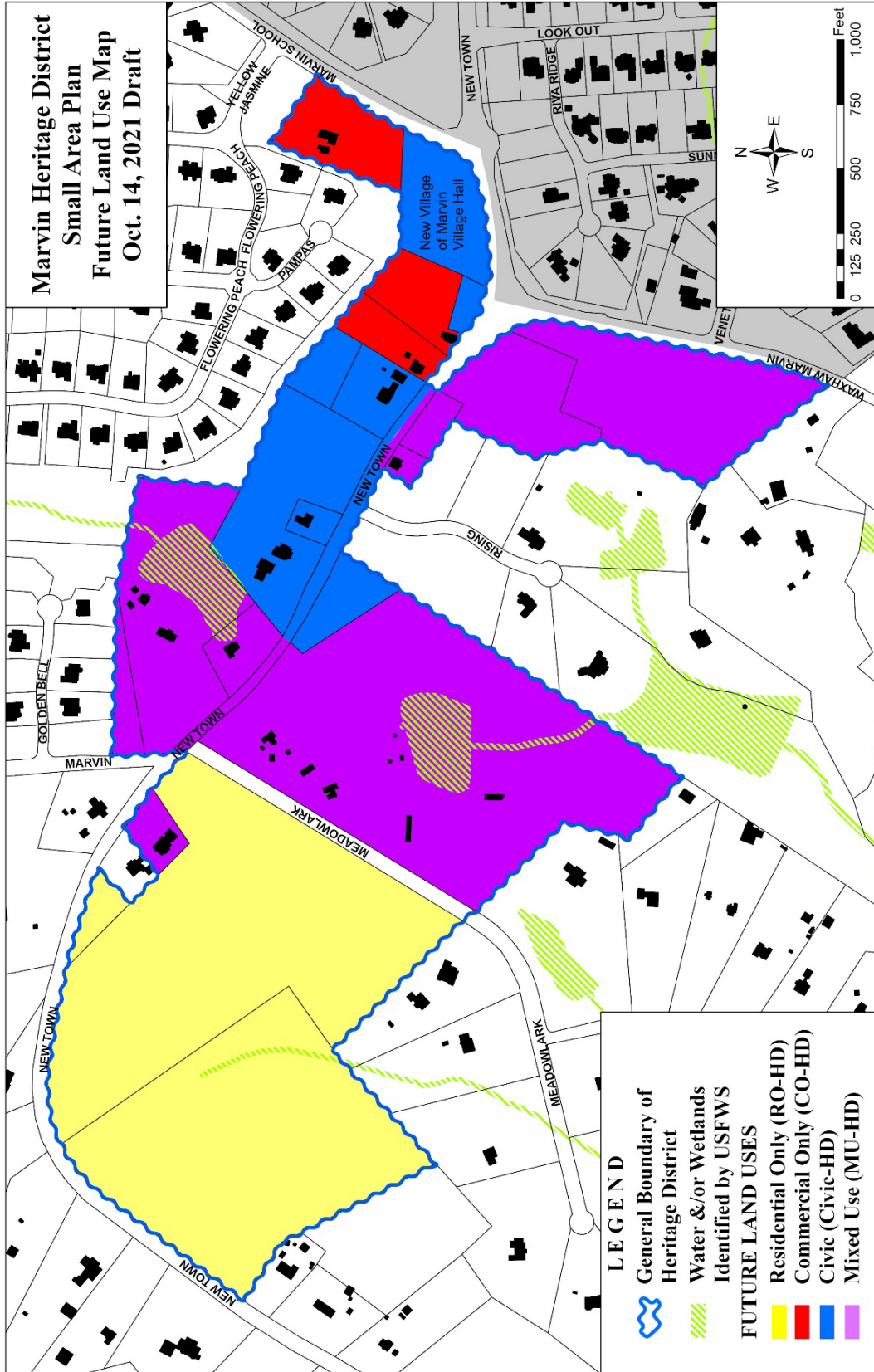
Mixed Use Heritage District (MU-HD): Future land uses for this designation are intended to be the bulk of the central area of the District. This designation is envisioned to provide parcels that are larger and deeper and thus are situated to have residential in the back and commercial in the front. Developments in this district should meet the intent of Mixed-Use and should all have no more than 30% of the total area as residential uses.

Commercial Only Heritage District (CO-HD): The future land use for this designation is intended to host only commercial uses. The proximity to Village Hall and narrow properties tend to favor commercial uses, and these uses should be buffered significantly from existing residential uses.

Civic Heritage District (Civic-HD): The future land use for this designation is intended to include the historic churches and site of the new Marvin Village Hall. Properties in this future land use designation should be limited to civic uses and similar building vernacular to churches and the Village Hall or other similarly civic uses.







Note: Boundaries of the Marvin Heritage District (external) and Future Land Uses (internal) shown on this map are not zoning districts and are advisory in nature, without independent regulatory effect. These boundaries will be considered by the Planning Board and Village Council when considering map amendments (rezonings) to the Official Zoning Map. When the Planning Board and Village Council consider proposed rezonings, this map will be consulted. These boundary lines (external and internal) are generalized, and as such, are not intended to be precisely aligned with parcel lines.

EXHIBITS

- Exhibit A: Photos of Existing Building in Marvin Heritage District**
- Exhibit B: Photos of Bluffton, S.C.**
- Exhibit C: Photos of Other Examples**
- Exhibit D: Terminate Vistas Map**
- Exhibit E: Pedestrian and Greenway Map**
- Exhibit F: Alignment of the Marvin Loop Trail**
- Exhibit G: Precedent Imagery of Buffer Types**

EXHIBIT A: Photos of Existing Buildings in the Marvin Heritage District



McIlwain-Suggs House (Windle House)



Crane General Store



**Wilma and William Crane House
(Owens House)**



Philbrick House



Reasons (Rajan) Barn



J.J. Rone House

EXHIBIT B: Photos of Bluffton, S.C.



Commercial Cottage Style

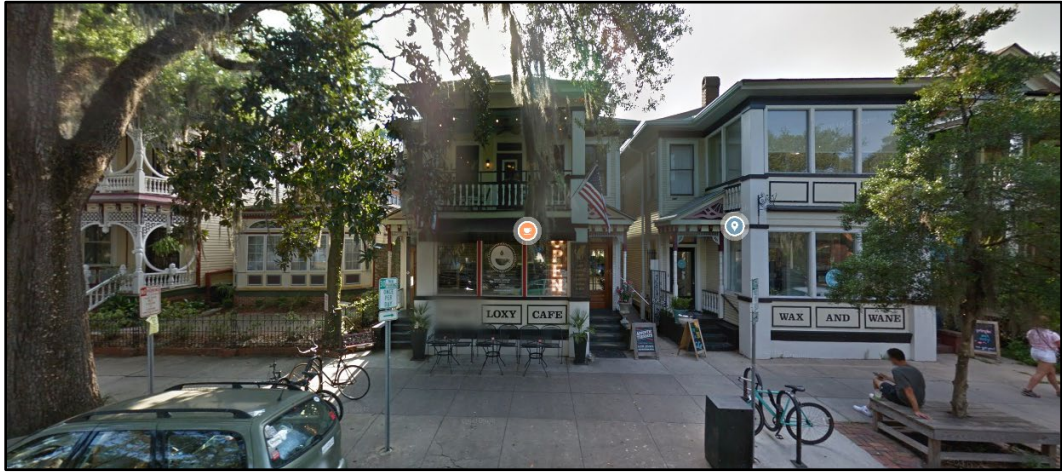


Commercial Bungalow Style



Village House with Professional Office

EXHIBIT C: Photos of Other Examples



Savannah, GA



Long Grove, IL



Kennebunkport, ME

EXHIBIT D: Terminate Vista Map

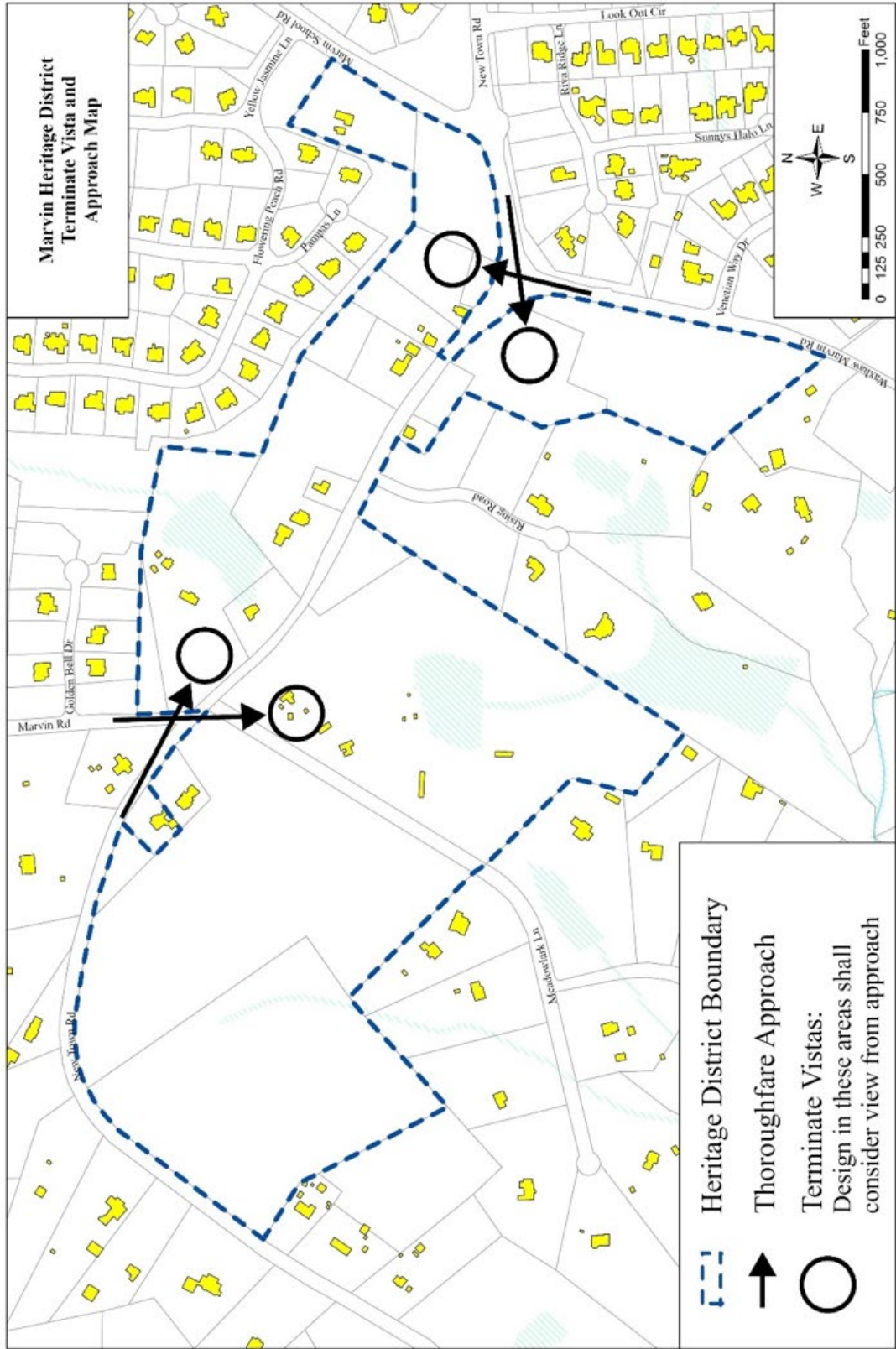
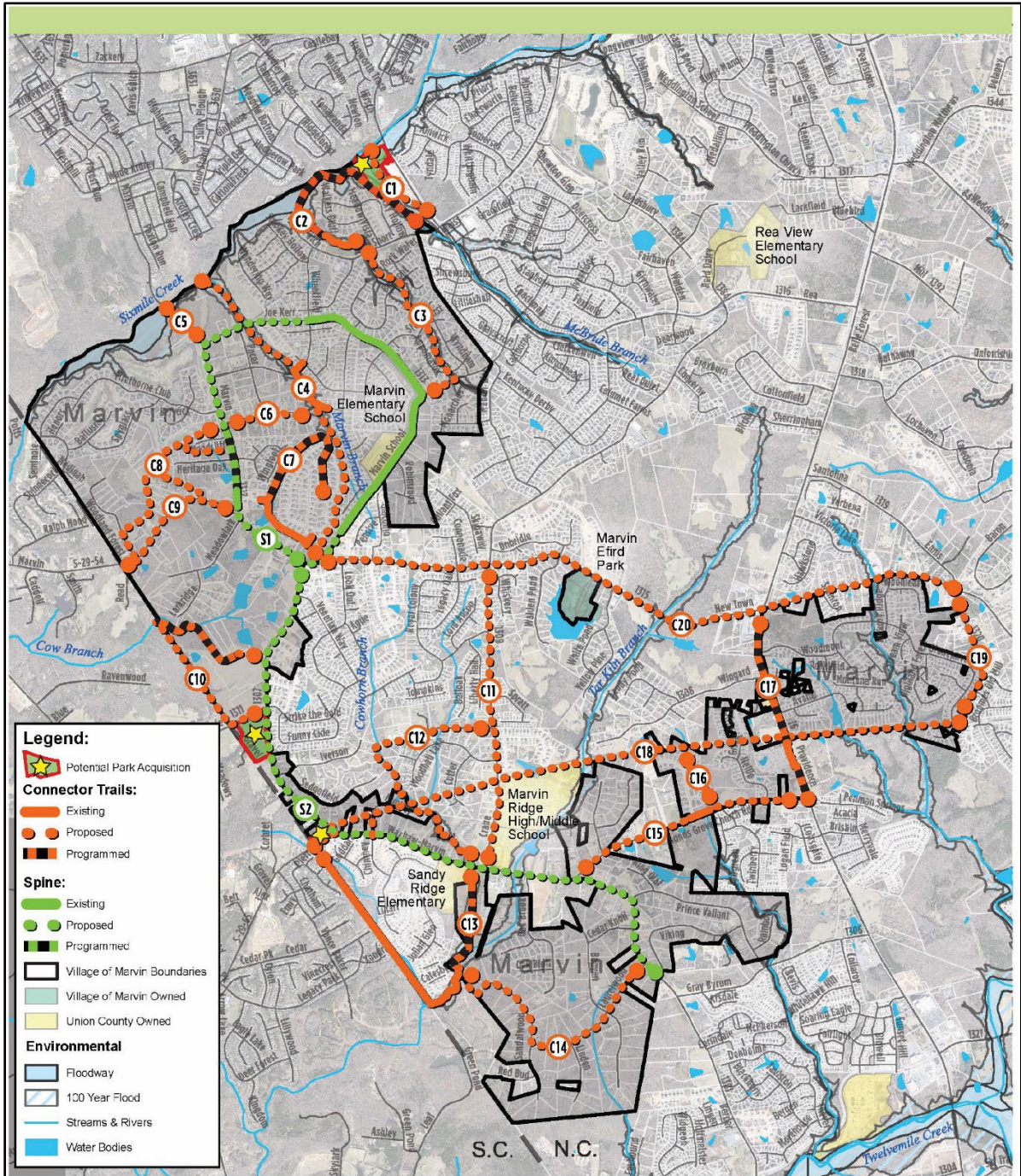
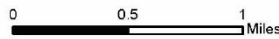


EXHIBIT E: Pedestrian and Greenway Plan



Conceptual Greenway Plan Village of Marvin Union County, North Carolina



**DESTINATION
BY DESIGN**
PLANNING ENGINEERING COMMUNICATIONS



ROUTE SUMMARY MATRIX

Trail Segment	Name	Trail Type	Length (linear feet)	Length (miles)	Location
S1	Marvin Loop	DOT Sidepath/ Typical Greenway	19,715	3.73	Along Marvin School, Joe Kerr, Marvin, and New Town Roads
S2	Waxhaw Marvin Greenway	DOT Sidepath/ Typical Greenway	18,676	3.54	Along Waxhaw Marvin Road
C1	North McBride Branch Greenway	Crushed Stone Path	2,337	0.44	Along north side of McBride Branch
C2	Tullamore Trail	Crushed Stone Path	6,568	1.25	Off road
C3	Wyndham Hall Greenway	DOT Sidepath/ Crushed Stone Path	6,042	1.14	Riparian corridor and along Marvin School Road
C4	Marvin Branch Greenway	Crushed Stone Path	10,252	1.94	Along Marvin Branch
C5	Six Mile Creek Connector	DOT Sidepath	1,508	0.29	Along Marvin Road
C6	Saddle Avenue Connector	Sharrow - on road	2,521	0.48	Along/on Saddle Avenue
C7	Preserve Trail	Crushed Stone Path	6,408	1.22	Off road
C8	Woodland Forest Connector	DOT Sidepath/ Typical Greenway/ Crushed Stone Path	8,622	1.63	Off road and along Woodland Forest Road
C9	Marvin Loop Connector	DOT Sidepath/ Typical Greenway	4,201	0.80	Along New Town Road
C10	Broadmoor Greenway	DOT Sidepath/ Typical Greenway/ Crushed Stone Path	8,169	1.55	Off road and along Stacy Howie Road
C11	Crane Road Greenway	DOT Sidepath	8,277	1.57	Along Crane Road
C12	Cowhorn Branch Greenway	Crushed Stone Path	8,788	1.66	Off road
C13	Chimneys Trail	Natural Surface Trail	9,823	1.86	Off road
C14	Tar Kiln Branch Connector	Natural Surface Trail/ Sharrow - on road	7,556	1.43	Off road and along Sandalwood and Lauralwood Lanes
C15	Bonds Grove Church Greenway	DOT Sidepath and Typical Greenway	6,753	1.29	Along Bonds Grove Church Road
C16	Belle Grove Trail	Crushed Stone Path	2,052	0.39	Off road
C17	Providence Road Greenway	DOT Sidepath and Typical Greenway	5,525	1.04	Along Providence Road
C18	Powerline Trail	Natural Surface Trail	18,530	3.51	Duke Power ROW and along Henry Nesbit Road
C19	Broomes Old Mill Connector	DOT Sidepath	3,852	0.73	Along Broomes Old Mill Road
C20	New Town Road Greenway	DOT Sidepath	17,827	3.38	Along New Town Road

Total Length (miles)

34.86

EXHIBIT F: Alignment of the Marvin Loop Trail

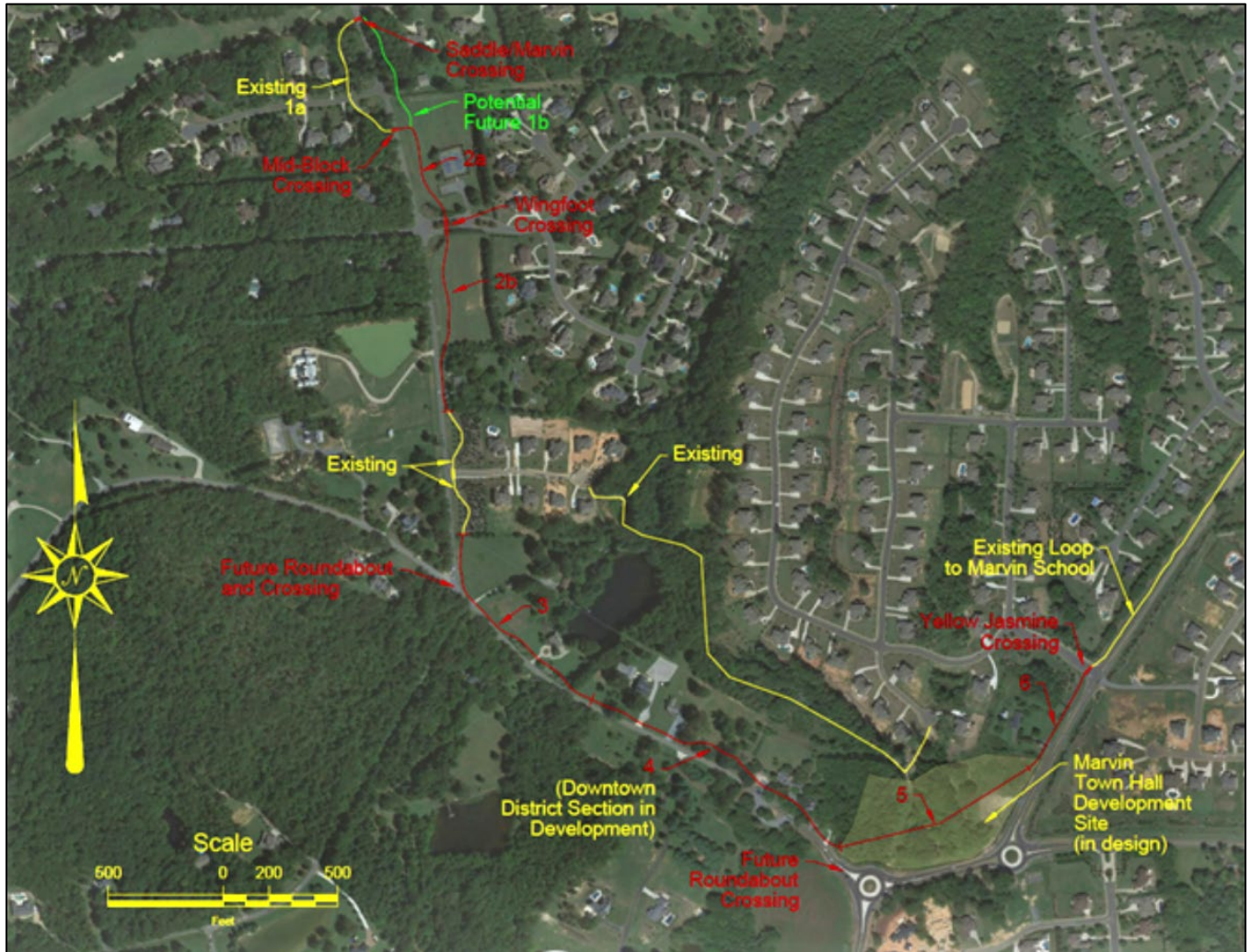
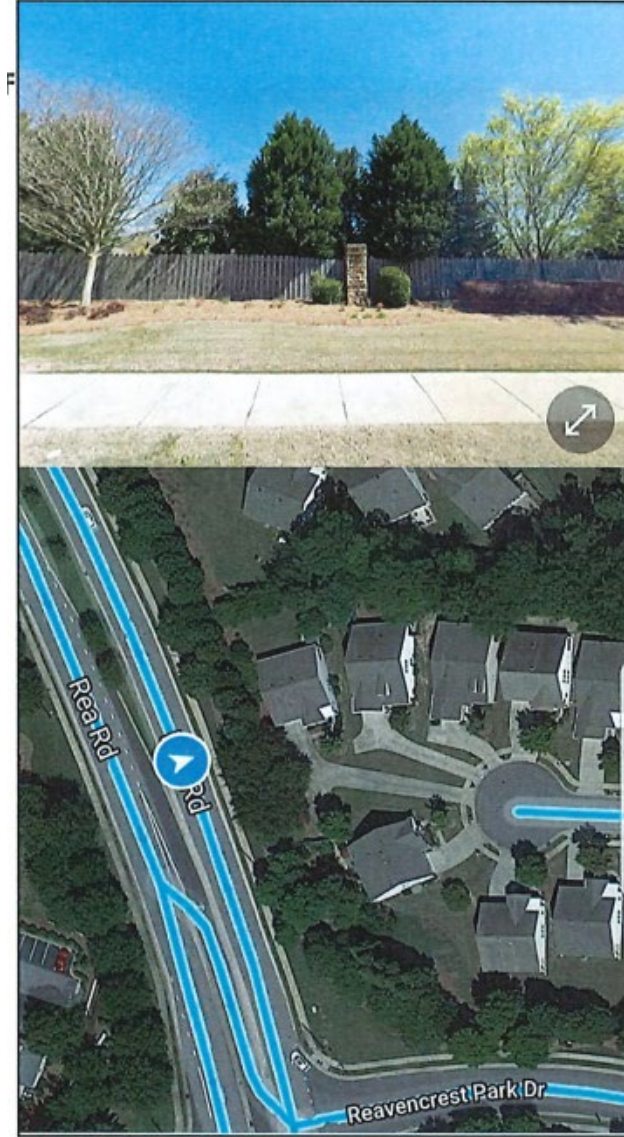
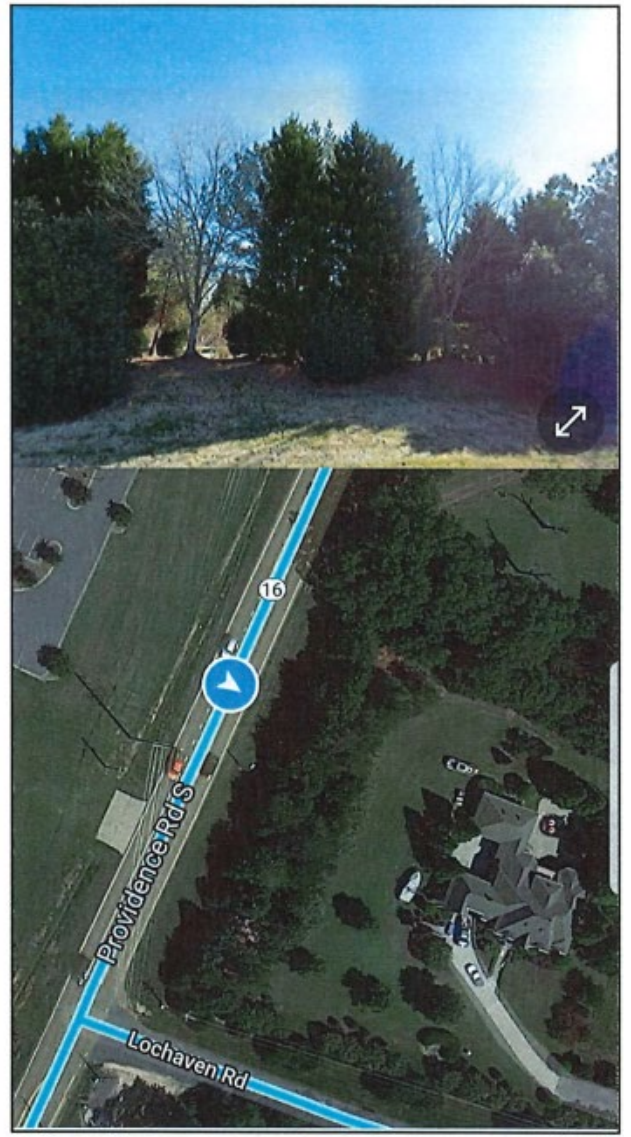


EXHIBIT G: Precedent Imagery of Buffer Types



Fence + Rows of Evergreens and Canopies



Two Rows of Evergreen Trees

EXHIBIT G (Continued): Precedent Imagery of Buffer Types



100 foot depth of mature trees



~60 feet depth of mature trees

APPENDICES

Appendix A: [Village of Marvin 2019 Community Survey Report](#)

Appendix B: [Building a Village Center and Creating Intentional Growth in the Village of Marvin, NC](#)

Appendix A

Village of Marvin 2019 Community Survey Report

Appendix B

Building a Village Center and Creating Intentional Growth in the Village of Marvin, NC