



# VILLAGE OF MARVIN

10004 New Town Road | Marvin, NC | 28173 | Tel: (704) 843-1680 | Fax: (704) 843-1660 | www.marvinnc.org

## VILLAGE COUNCIL MEETING MINUTES

March 25, 2021 – 9am

Village Hall, 10004 New Town Road

Work Session (Virtual Meeting)

### A. AGENDA ITEMS

#### 1. Call to Order

Mayor Pollino called the meeting to order at 9:06am and determined that a quorum was present.

**Present:** Mayor Pollino, Councilman Lein, Councilman Wortman

**Present Virtually:** Mayor Pro Tem Vandenberg, Councilman Marcolese

**Absent:** None

**Staff Present:** Christina Amos, Austin W. Yow, Jamie Privuznak

**Staff Present Virtually:** Rohit Ammanamanchi

#### 2. Consider Allowing Councilmembers to Participate Remotely

**MOTION:** Councilman Wortman moved to allow Councilmembers to participate remotely.

**VOTE:** The motion passed unanimously.

#### 3. Adoption of the Agenda

Councilmembers requested to make the following changes:

- Table Discussion of Gates and Private Roads Ordinance until the May Work Session meeting
- Remove the Closed Session
- Add Item of Discussion – Discussion and Consideration of Resolution to Reaffirm the Village of Marvin's Commitment to Contribute \$220,000 to the Right of Way Acquisition and Construction of NCDOT Project U-6088, a Roundabout to be Constructed at the Intersection of New Town Road (SR 1315) and Marvin Road (SR 1312)
- Add Item of Discussion – Discussion of Local Bill, an Act to Extend NCGS 160A-167 – Defense of Employees and Officers; Payment of Judgements to Persons Seeking Elected Office

**MOTION:** Councilman Wortman moved to adopt the agenda as amended.

**VOTE:** The motion passed unanimously.

### B. PRESENTATIONS

No presentations were given.

### C. VILLAGE HALL

#### TIME STAMP 5:50

#### 1. Village Hall Design Finishes Subcommittee Update

Christina Amos, Village Manager, recapped recent meetings of the Village Hall Design Finishes Subcommittee and stated that the full Council will see samples of the subcommittee's selections at a future meeting.

### D. ITEMS OF DISCUSSION

#### TIME STAMP 7:15

#### 1. Consider Call for Public Hearing to be held at 6:30pm on April 13, 2021 at Village Hall for Conditional Use Permit #21-12608: 3315 Sandalwood Lane, Pool in Rear Yard that Abuts a Side Yard

**MOTION:** Mayor Pro Tem Vandenberg moved to call for a public hearing to be held at 6:30pm on April 13, 2021 at Village Hall for Conditional Use Permit #21-12608: 3315 Sandalwood Lane, Pool in Rear Yard that Abuts a Side Yard.

**VOTE:** The motion passed unanimously.

#### TIME STAMP 7:50

#### 2. Discuss and Consider Approval of Resolution of Intent to Consider an Ordinance Amending the Charter of the Village of Marvin to Change the Number of Council Members from Five (5) to Six (6) and Setting the Date for a Public Hearing to be Held at 6:30pm on April 13, 2021 at Village Hall

Ms. Amos briefly explained that this resolution would call for a public hearing to allow the public to voice their support or opposition to the charter amendment being considered.



RS-2021-XX-XX

**A RESOLUTION OF INTENT TO CONSIDER AN ORDINANCE AMENDING THE CHARTER OF THE VILLAGE OF MARVIN TO CHANGE THE NUMBER OF COUNCIL MEMBERS FROM FIVE (5) TO SIX (6) AND SETTING THE DATE FOR A PUBLIC HEARING THEREON**

WHEREAS, pursuant to NCGS §160A-101 and 160A-102, the Marvin Village Council may adopt an ordinance to amend the Village Charter to implement any of the optional forms set out in NCGS §160A-101; and

WHEREAS, NCGS §160A-102 requires that proposed Charter amendments first be submitted to a public hearing and that due notice thereof be published not less than ten (10) days prior to the date fixed for the public hearing;

NOW, THEREFORE, BE IT RESOLVED by the Marvin Village Council that:

1. The Village Council hereby intends to consider an ordinance amending the Village Charter, as set forth in Session Law 2007-269 of the General Assembly of North Carolina, as amended, to change the number of Councilmembers from five (5) to six (6), as authorized under NCGS §160A-101(5).
2. A public hearing on the proposed ordinance is hereby called for on Tuesday, April 13, 2021 at 6:30 pm at Village Hall.
3. Following the public hearing called hereby, the Council shall consider passage of the ordinance at the regular meeting on May 11, 2021 at 6:30 p.m.
4. The Village Clerk is hereby directed to cause to be published in the Enquirer Journal a proper notice of the public hearing called, which shall contain a summary of the proposed Charter amendment.

*Adopted this 25<sup>th</sup> day of March 2021.*

**MOTION:** Mayor Pro Tem Vandenberg moved to approve the Resolution of Intent to Consider an Ordinance Amending the Charter of the Village of Marvin to Change the Number of Council Members from Five (5) to Six (6) and Set the Date for a Public Hearing to be Held at 6:30pm on April 13, 2021 at Village Hall.

**VOTE:** The motion passed unanimously.

**TIME STAMP 10:10**

**3. Discussion and Consideration of Entering Interlocal Agreement with Town of Weddington for Solid Waste Service Agreement and Authorize Manager to Execute Agreement Contingent on Attorney Review**

Ms. Amos explained that this draft agreement with the Town of Weddington has been reviewed by the Village Attorney and that neither her nor the attorney have any concerns. *(See attached agreement, which is included as a reference in these minutes).*

**MOTION:** Mayor Pro Tem Vandenberg moved to enter into an Interlocal Agreement with Town of Weddington for Solid Waste Service Agreement and Authorize Manager to Execute Agreement Contingent on Attorney Review

**VOTE:** The motion passed unanimously.

**TIME STAMP 12:25**

**4. Discussion and Consideration of Solid Waste Request for Proposals**

Ms. Amos explained that this would be the last chance for Council to alter the RFP before the project goes out for bid. She reviewed the details of the RFP with Council. Councilmembers made changes and discussed this item in depth. Council agreed that it would wise to schedule a joint meeting with the Weddington Town Council.



**TIME STAMP 45:15**

5. **Discussion and Consideration of Awarding Construction Bid to Lowest Responsive Bidder in Amount Not to Exceed TBD for the Construction of Sanitary Sewer to Serve Parcel 06225390A (Corner of New Town Road and Marvin School Road) AND Authorize Manager to Execute Agreement Contingent Upon Attorney Review**

Ms. Amos informed the Council that one bid was received for the Sanitary Sewer project and that the bid came in much lower than expected. She explained that since the bid is less than \$90,000 that Council may choose to waive the Village's three-quote requirement policy and award the contract to Sonshine Construction. The project is slated for completion in three months. *(See attached documents, which are included as references in these minutes).*

**MOTION:** Councilman Lein moved to award construction bid to lowest responsive bidder, Sonshine Construction Inc., in amount not to exceed \$78,957.20 with a contingency of \$7,895.72 for the construction of Sanitary Sewer to serve Parcel 06225390A (Corner of New Town Road and Marvin School Road) AND authorize Manager to execute agreement contingent upon attorney review.

**VOTE:** The motion passed unanimously.

**MOTION:** Councilman Lein moved to waive the three-bid requirement for the awarding of construction bid to the lowest responsive bidder for Sanitary Sewer.

**VOTE:** The motion passed unanimously.

**TIME STAMP 53:10**

6. **Affirm the Design Review Board Approval of the Village Hall Project located at the corner of New Town Road and Marvin School Road with any Recommendations for each the (i) Site Plans, (ii) Building Plans, and (iii) Landscape Plans**

Ms. Amos explained that the Design Review Board has approved the Village Hall Project with no added conditions and that Council simply needs to affirm the Board's approval. *(See attached documents, which are included as references in these minutes).*

**MOTION:** Councilman Wortman moved to affirm the findings of the Design Review Board and Approval of the Village Hall Project as reviewed.

**VOTE:** The motion passed unanimously.

**TIME STAMP 55:05**

7. **Discussion and Consideration of Awarding Construction Bid to Lowest Responsive Bidder in Amount Not to Exceed TBD for the Construction of Village Hall to be Located at 10006 Marvin School Road Allowing Manager to Negotiate with Vendor to Reduce Overall Project Costs AND Authorize Manager to Execute Agreement Contingent Upon Attorney Review**

Ms. Amos briefly recapped the history of the Village Hall project from past years. She explained that the lowest responsive bidder, Randolph and Sons, came in at \$1,435,000. She reminded Council that they needed to consider the cost of furniture, AV, security, access control, landscaping, parking lot lighting, and a contingency that is not included in this bid proposal. She added that she received documentation showing that Randolph and Sons made a good faith effort to increase their MBE. *(See attached documents, which are included as references in these minutes). (MBE Documents are on file and may be viewed at Village Hall or provided electronically by request).*

**MOTION:** Councilman Wortman moved to find that Randolph and Sons have submitted sufficient evidence that they have attempted to meet the MBE goal policy of the Village of Marvin.

**VOTE:** The motion passed unanimously.

**MOTION:** Mayor Pro Tem Vandenberg moved to award the Construction Bid to Lowest Responsive Bidder, which is Randolph and Sons, in Amount \$1,435,000 with a contingency of \$143,500 for the Construction at 10006 Marvin School Road Allowing Manager to Negotiate with Vendor to Reduce Overall Project Costs AND Authorize Manager to Execute Agreement Contingent Upon Attorney Review.

Councilmembers briefly discussed and agreed that the contingency funds should be increased to \$200,000.

**MOTION:** Councilman Wortman moved to award the Construction Bid to Lowest Responsive Bidder, which is Randolph and Sons, in Amount \$1,435,000 with a contingency of \$200,000 for the Construction of Village Hall to be Located at 10006 Marvin School Road Allowing Manager to Negotiate with Vendor to Reduce Overall Project Costs AND Authorize Manager to Execute Agreement Contingent Upon Attorney Review.

**VOTE:** The motion passed unanimously.

Council discussed previous projects completed by Randolph and Sons, including the Police and Fire Departments of Tega Cay, South Carolina. Council agreed that they should visit these sites soon to view the quality of Randolph and Sons' work.

**TIME STAMP 1:15:05**

**8. Discussion of Statement of Economic Interest and Code of Ethics Forms**

Austin W. Yow, Village Clerk & Assistant to the Manager, explained that most board members have returned their completed statement of economic interest and code of ethics forms. Council directed Mr. Yow to reach out to the Chairman of each board and ask them to encourage their board members to return their forms.

**TIME STAMP 1:25:50**

**9. Discussion and Consideration of Candidate Questionnaire & Candidate Questionnaire Policy**

Mr. Yow asked the Council for feedback on the draft policy. Council discussed this item in depth and agreed to send draft questions for the questionnaire to Mr. Yow before the April 13 regular meeting.

**TIME STAMP 1:48:45**

**10. Discussion of Noise Ordinance**

Ms. Amos informed Council that a resident has requested to reduce the allowed decibels in the Village’s noise ordinance. Council discussed this in depth and agreed to not change the current ordinance.

~~Discussion of Gates and Private Roads Ordinance~~ – **TABLED TO MAY 27 WORK SESSION**

**TIME STAMP 1:52:25**

**11. Consider Approval of General Fund Budget Ordinance, Minor Correction/Revision to OR-2021-03-02 to Appropriate Excess Salary Dollars in the Amount of \$23,000 in the Culture and Recreation Budget to Increase the Hour per Week for the Public Facilities Manager**



**OR-2021-XX-XX  
CORRECTED VERSION OF OR-2021-03-02**

**AN ORDINANCE AMENDING THE GENERAL FUND BUDGET ORDINANCE**

**BE IT ORDAINED** by the Village Council of the Village of Marvin, North Carolina that the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2021:

**SECTION 1.** To amend the General Fund Budget, the revenues and appropriations are to be changed as shown.

<b>TYPE</b>	<b>BUDGET ACCOUNT</b>	<b>AMENDMENT AMOUNT</b>	<b>FROM</b>	<b>TO</b>
Expense	Salaries – Culture and Recreation (Park Maintenance Associates - A/C 6711)	(\$23,000)	\$44,172	\$21,172
Expense	Salaries – Culture and Recreation (Public Facilities Manager – A/C 6031)	\$11,000	\$31,537	\$42,537
Expense	Park Operations – Culture and Recreation (Park Projects – A/C 6765)	\$12,000	\$38,500	\$50,500

**Reason:** To appropriate \$23,000 from Salaries in the Culture and Recreation budget to increase the hours per week for the Public Facilities Manager and to purchase and construct a golf disc course at Marvin Efird Park.

**SECTION 2.** Copies of this budget amendment shall be furnished to the Clerk to the Governing Board, and to the Budget Officer and the Finance Officer for their direction.

Adopted this 25th day of March 2021.



**MOTION:** Mayor Pro Tem Vandenberg moved to adopt General Fund Budget Ordinance, Minor Correction/Revision to OR-2021-03-02 to Appropriate Excess Salary Dollars in the Amount of \$23,000 in the Culture and Recreation Budget to Increase the Hour per Week for the Public Facilities Manager.

**VOTE:** The motion passed unanimously.

**TIME STAMP 1:53:20**

12. Consider Adoption of General Fund Budget Ordinance to Amend Various Operating Expense Lines in the General Government and Planning and Zoning General Fund Budgets



**OR-2021-XX-XX**

**AN ORDINANCE AMENDING THE GENERAL FUND BUDGET ORDINANCE**

**BE IT ORDAINED** by the Village Council of the Village of Marvin, North Carolina that the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2021:

**SECTION 1.** To amend the General Fund Budget, the revenues and appropriations are to be changed as shown.

TYPE	BUDGET ACCOUNT	AMENDMENT AMOUNT	FROM	TO
Expense	Travel – General Government (A/C 6402)	(\$615)	\$5,000	\$4,385
Expense	Fellowship Hall – General Government (A/C 4703)	\$615	\$500	\$1,115
Expense	Gifts – General Government (A/C 4400)	(\$200)	\$900	\$700
Expense	Mileage – General Government (A/C 4806)	(\$400)	\$2,000	\$1,600
Expense	Advertising – General Government (A/C 4802)	\$600	\$600	\$1,200
Expense	Travel – Planning and Zoning (A/C 6402)	(\$800)	\$1,200	\$400
Expense	Public Hearing Notice – Planning and Zoning (A/C 6509)	\$800	\$1,500	\$2,300

**Reason:** To reappropriate funds from various operating expense lines in the General Government and the Planning and Zoning budgets to rebalance the expense overages in the Fellowship Hall, Advertising and Public Hearing Notice line-items.

**SECTION 2.** Copies of this budget amendment shall be furnished to the Clerk to the Governing Board, and to the Budget Officer and the Finance Officer for their direction.

Adopted this 25th day of March 2021.

**MOTION:** Mayor Pro Tem Vandenberg moved to adopt General Fund Budget Ordinance to Amend Various Operating Expense Lines in the General Government and Planning and Zoning General Fund Budgets.

**VOTE:** The motion passed unanimously.

**TIME STAMP 1:53:50**

13. **Consider Approval of March 2021 Tax Refunds** *(See attached document, which is included as a reference in these minutes).*  
Jamie Privuznak, Finance Officer, distributed an updated document regarding the March 2021 tax refunds.  
**MOTION:** Councilman Marcolese moved to approve the March 2021 Tax Refunds.  
**VOTE:** The motion passed unanimously.

**TIME STAMP 1:54:55**

14. **Discussion of Marvin Heritage District Next Steps**  
Rohit Ammanamanchi, Planning and Zoning Administrator recapped previous Council discussions on this topic. He explained that by consensus Council agreed that the Village of Marvin should move forward with the creation of the zoning district for the Marvin Heritage District. He explained that based on recent feedback, he would present a final draft of the zoning district to the Marvin Heritage District Strategic Plan Committee at their next meeting on April 1.

Council discussed this item in depth agreed that the Village should not pay to complete renderings and allow the property owners to make proposals based on zoning district. Mr. Ammanamanchi clarified that after the Committee votes on the zoning district that it will go before the Planning Board. Council agreed by consensus to direct Mr. Ammanamanchi to present the draft zoning district to the Committee and to send the draft to all Councilmembers.

**TIME STAMP 2:05:05**

15. **Discussion and Consideration of Changing Village Hall Office Hours**  
Ms. Amos asked Council for their consent to change the Village Hall Office hours to 10am-2pm, Monday through Thursday. Council agreed by consensus to this change.

**TIME STAMP 2:06:15**

16. **Review of Council Meeting Minutes from 2/19/21 (Retreat), 2/25/21 (Work Session), 3/8/21 (Joint with Planning Board), 3/9/21 (Budget Work Session), 3/9/21 (Regular), 3/10/21 (Special), and 3/10/21 (Village Hall Design Finishes Subcommittee)**  
Council reviewed the draft minutes and made changes. Council directed Mr. Yow to place the minutes on the consent agenda for the April 13 regular meeting as amended.

**TIME STAMP 2:14:35**

17. **Discussion and Consideration of Resolution to Reaffirm the Village of Marvin's Commitment to Contribute \$220,000 to the Right of Way Acquisition and Construction of NCDOT Project U-6088, a Roundabout to be Constructed at the Intersection of New Town Road (SR 1315) and Marvin Road (SR 1312)**  
Ms. Amos explained that this resolution is an affirmation of the Village's financial commitment to contribute \$220,000 in total to NCDOT for the New Town Road/Marvin Road roundabout project. She explained that this resolution was requested by State Representative David Willis to aid him in securing additional funds for the project.



**RS-2021-XX-XX**

**A RESOLUTION TO REAFFIRM THE VILLAGE OF MARVIN'S COMMITMENT TO CONTRIBUTE \$220,000 TO THE RIGHT OF WAY ACQUISITION AND CONSTRUCTION OF NCDOT PROJECT U-6088, A ROUNDABOUT TO BE CONSTRUCTED AT THE INTERSECTION OF NEW TOWN ROAD (SR 1315) AND MARVIN ROAD (SR 1312)**

**WHEREAS** the Village of Marvin and the North Carolina Department of Transportation (NCDOT) on 3/12/2018, entered into a certain Project Agreement for the original scope: the conversion of the existing stop-controlled intersection at New Town Road (SR 1315) and Marvin Road (SR 1312) to a roundabout, programmed under Project U-6088; and

**WHEREAS** the Village of Marvin and NCDOT on 4/22/2020, entered into a Supplemental Agreement to return the Village's local participation in the construction phase of the project due to the delay in the letting date of the project; and

**WHEREAS** the Village of Marvin and NCDOT on 2/11/2021, entered into a 2<sup>nd</sup> Supplemental Agreement to address the increase in project costs and revise the local participation in the ROW and CON phases of the project; and



**WHEREAS** the new estimated cost of the project is \$1,905,000 and costs that exceed the total estimated cost will be shared equally between NCDOT (50%) and the Village of Marvin (50%) to all phases of the project.

**WHEREAS** the estimated local match for the Right of Way (ROW) phase is \$120,000 of which \$15,000 has previously been received by NCDOT and the Village of Marvin will make the remainder of this payment in accordance with the 2<sup>nd</sup> Supplemental Agreement.

**WHEREAS** the estimated local match for the Construction (CON) phase is \$100,000 and the Village of Marvin will make this payment in accordance with the 2<sup>nd</sup> Supplemental Agreement.

**WHEREAS** upon completion of the Project, NCDOT will calculate the actual costs of the work and will bill the Village of Marvin for any excess project costs based on the above participation rates and the Village of Marvin will make this payment in accordance with the 2<sup>nd</sup> Supplemental Agreement.

**NOW, THEREFORE, BE IT RESOLVED** that the Marvin Village Council hereby reaffirms its commitment to contribute funding in the total estimated amount of \$220,000 towards the completion of Project U-6088 and to make payments to NCDOT in accordance with the 2<sup>nd</sup> Supplemental Agreement.

*Adopted this 25<sup>th</sup> day of March 2021.*

**MOTION:** Councilman Lein moved to approve the Resolution to Reaffirm the Village of Marvin's Commitment to Contribute \$220,000 to the Right of Way Acquisition and Construction of NCDOT Project U-6088, a Roundabout to be Constructed at the Intersection of New Town Road (SR 1315) and Marvin Road (SR 1312).

**VOTE:** The motion passed unanimously.

**TIME STAMP 2:21:50**

**18. Discussion of Local Bill, an Act to Extend NCGS 160A-167 – Defense of Employees and Officers; Payment of Judgements to Persons Seeking Elected Office** *(See attached document, which is included as a reference in these minutes).*

Ms. Amos asked Council for changes to the draft local bill. Council altered the wording of and discussed the draft bill in depth.

**MOTION:** Mayor Pro Tem Vandenberg moved to authorize the Manager to submit a proposed local bill to amend GS 160A-167 for Defense of Employees and Officers; Payment of Judgements to Persons Seeking Elected Office as discussed and amended at this meeting.

**VOTE:** The motion passed unanimously.

## **E. OPEN TOPICS**

No topics were discussed

## **F. COMMUNICATIONS**

**TIME STAMP 2:32:30**

**1. Discussion and Consideration of Communication Topics for April 2021**

Mr. Yow gave a brief update on the state of the Village's communications. He then asked Council for feedback on communication topics for April 2021. Council added various topics to the list.

## **G. REPORTS AND UPDATES**

**TIME STAMP 2:42:00**

**1. Manager's Report**

Ms. Amos informed the Council that Marvin will receive \$1,990,000 in COVID-19 relief funds from the American Rescue Plan. She noted that she is not yet familiar with restrictions that may exist on these funds, but will report back at a future meeting.

**TIME STAMP 2:49:20**

**2. Planner's Report**

**a. Annexation Update**

Mr. Ammanamanchi informed Council that staff has not received many annexation petitions, nor has staff had much success with scheduling meetings with HOAs in Marvin's annexation area. He also stated that a local bill for the next legislative session to annex limited properties in the annexation area may be possible. Council discussed this idea of a local bill in depth. Council agreed to discuss this item again at the May 27 work session meeting.

Mr. Yow informed Council that one parcel owned by the Village adjacent to Marvin Ebird Park was never annexed. He asked Council for feedback and Council agreed to reach out to former Village Administrator, Terri Patton for more information. Council agreed to discuss this item again at the May 27 work session meeting.

**MOTION:** Councilman Wortman moved to excuse Mayor Pro Tem Vandenberg at 12:05pm.

**VOTE:** The motion passed unanimously.

**b. Gene Stowe – Inherit the Land Documentary**

Mr. Ammanamanchi informed Council that the filming of the documentary was recently completed and a non-profit formed was formed to help raise additional funds.

**H. AGENDA ITEMS**

**TIME STAMP 3:07:45**

**1. Review of Action Items**

- Ms. Amos and Mr. Yow will arrange a trip to Tega Cay for Councilmembers to view projects completed by Randolph and Sons.
- Ms. Amos will ask the Village Attorney about how to enforce the SEI and COE forms, and if failure to sign can lead to removal of board members.
- Ms. Amos will issue notices to proceed and the sign the contracts for the Sanitary Sewer and Village Hall projects.
- Ms. Amos will submit the local bill for the defense of employees and officers to Representative Willis.
- Ms. Amos will send out the RFP for solid waste.
- Ms. Amos and Mr. Yow will schedule a joint meeting with the Weddington Town Council.
- Ms. Amos will get more information on the American Rescue Fund and report back at a future meeting.
- Mr. Ammanamanchi will present the draft zoning district to the MHD SP Committee on April 1.
- Mr. Ammanamanchi will send the draft zoning district to all Councilmembers.
- Mr. Yow will add the annexation local and annexation of park property to the May 27 work session meeting agenda.
- Mr. Yow will add discussion of gates and private roads to the May 27 work session meeting agenda.

**Review of Ongoing Action Item List**

Council reviewed the list but made no changes.

**TIME STAMP 3:11:00**

**2. Council Comments**

**Mayor Pollino:** He thanked staff for their hard work. He thanked all who participated in the bids for the Village Hall and Sanitary Sewer projects. He thanked State Representative David Willis for sponsoring the local bill.

**Councilman Lein:** He thanked staff for their hard work.

**I. CLOSED SESSION**

No closed session occurred.

**J. ADJOURNMENT**


**MOTION:** Councilman Wortman moved to adjourn the meeting at 12:18pm.

**VOTE:** The motion passed unanimously.

Adopted: 4-13-21



  
\_\_\_\_\_  
Joseph E. Pollino Jr., Mayor  
Village of Marvin

  
\_\_\_\_\_  
Austin W. Yow  
Village Clerk & Assistant to the Manager  
Village of Marvin



Item 0.3.

STATE OF NORTH CAROLINA

INTERLOCAL AGREEMENT

COUNTY OF UNION

THIS AGREEMENT is made and entered into this the \_\_\_ day of the \_\_\_\_\_, 2021, by and among, The Town of Weddington, NC and the Village of Marvin, NC (hereinafter collectively referred to as the "Parties").

WITNESSETH:

WHEREAS, pursuant to NCGS § 160A-327 Weddington and Marvin have notified the public of their intent to investigate the displacement of private solid waste service providers within their respective jurisdictions; and

WHEREAS, as part of that investigation, the Parties have jointly determined to seek proposals from solid waste providers to determine if those proposals result in financial, environmental and service improvements for the citizens of Weddington and Marvin; and

WHEREAS, the Parties have determined that it is in the best interest of both to cooperate in this endeavor in that it offers potential savings in costs and staff time and allows an efficient means for Proposer's to participate in the RFP Process;

WHEREAS, the Parties, through their staff, will create and publish a Request for Proposals ("RFP") for solid waste services which will seek pricing and service levels commensurate with the requests and requirements of the Parties; and

WHEREAS, the Parties, acknowledge that while working through development, publication and consideration of the RFP and proposals received from potential service providers ("Proposer"), (the "RFP Process") issues may arise that require cooperation between the Parties; and

WHEREAS, the Parties desire to set forth the following to provide guidance and oversight to the RFP process; and

WHEREAS, this Agreement is made under the authority of N.C. Gen. Stat. § 160A-460 et seq.

NOW, THEREFORE, for and in consideration of the mutual covenants and agreements hereinafter set forth, the parties hereto do each contract and agree with the other as follows:

1. The term of this Agreement shall begin on March 1, 2021 and shall continue until ~~June~~ August 15, 2021. This Agreement may only be terminated upon expiration of the aforementioned term without an amendment extending the term executed by both parties to this Agreement. Notwithstanding the foregoing, the Parties may, either by mutual written consent or at the convenience of either party, terminate this Agreement at any time and for any reason.

2. The Parties agree that each will pay for its own staff's contributions to the RFP Process. The Parties further agree that each will be responsible for its own attorney's fees and for those other costs or expenses of the RFP process that fall under that Party's control. Upon written consent of both Parties, the Parties may share equally in other costs or expenses associated with the RFP Process.

3. The Parties agree that the RFP will seek pricing for a variety of service levels and that pricing shall be provided for i) Weddington alone; ii) Marvin alone; and iii) both Parties should they both choose the same Proposer at the end of the RFP Process.

4. The Parties agree that each Party will enter into its own contract with that Party's chosen Proposer. This Agreement does not obligate any of the Parties to enter into a contract with any Proposer.

5. Proposals responsive to the RFP shall be submitted sealed and sent to Marvin. The Parties shall establish selection teams consisting of the respective Town Manager and Town Administrator, one elected official, and one citizen that resides in the respective jurisdiction (the "Weddington Team" and the "Marvin Team" collectively, the "Team"). Representatives from ~~the~~ Weddington Team and the Marvin Team shall be present at the opening of submitted proposals. The Team may agree to establish processes and procedures to facilitate the RFP Process including but not limited to i) standards for proposal review, ii) the requirement of pre-bid meetings, iii) methods by which Proposer questions may be submitted and answered and iv) any other process that facilitates the RFP Process.

6. The RFP shall require Proposers to post bid security in the form of a bond, check or letter of credit. The bid security will be made payable to the "Town of Weddington or the Town of Marvin" and the security shall be submitted to and held by the Town of Weddington. The bid security shall be returned to Proposers when their bid has been rejected. The winning Proposer shall have its bid security returned upon submission of a required performance bond. Failure by a Proposer to submit bid security disqualifies that Proposer from consideration. Marvin shall notify Weddington, in writing of its decision to reject or accept each proposer within 24 hours of such decision in order to ensure prompt return of bid security to all proposers.

7. By mutual written agreement of the Parties, the Parties may amend the scope of the RFP as appropriate to achieve the goals of the Parties with respect to the RFP Process.

8. This Agreement may be amended by mutual, written consent of the parties.

9. This Agreement may be signed in counterparts, each of which shall be an original, with the same effect as if the signatures thereto and hereto were upon the same instrument. The Parties hereto confirm that any facsimile copy or photocopy of another party's executed counterpart of this Agreement (or its signature page thereof) will be deemed to be an executed original thereof. This Agreement may be supplemented, amended or revised only in writing by agreement of all the Parties to this Agreement.



IN WITNESS WHEREOF, the parties hereto have caused this instrument to be executed the day and year above written.

**TOWN OF WEDDINGTON:**

Attest: \_\_\_\_\_

By: \_\_\_\_\_  
Town Administrator

This instrument has been pre-audited in the manner required by the Local Government Budget and Fiscal Control Act.

\_\_\_\_\_  
Finance Director

**VILLAGE OF MARVIN:**

Attest: \_\_\_\_\_

By: \_\_\_\_\_  
Town Administrator

This instrument has been pre-audited in the manner required by the Local Government Budget and Fiscal Control Act.

\_\_\_\_\_  
Finance Director



# VILLAGE OF MARVIN

10004 New Town Road | Marvin, NC | 28173 | Tel: (704) 843-1680 | Fax: (704) 843-1660 | [www.marvinnc.org](http://www.marvinnc.org)

**TO:** Mayor and City Council  
**FROM:** Christina Amos, Village Manager  
**SUBJECT:** Village Hall Bid Tabulation  
**DATE:** March 24, 2021

## **Background**

Over the last several years, Council has explored various options the property owned by the Village at the corner of New Town Road and Marvin School Road which has included projects such as Village Hall, Amphitheatre, and/or a Farmer's Market. In addition, Council has been actively assessing the possibility of a Municipal Heritage District at which this property would be within the defined perimeters. Upon enactment of any of these uses, sanitary sewer would be needed at some point.

## **Current**

Upon engineering estimates, this project was expected to come back over \$100,000 which is why staff conducted a formal bid; however, when bids were submitted, they came back at \$78,957.20 which is under the statutory formal bidding requirements. The Village purchasing policy (attached) does require 3 bids; however only 1 bid was received. This RFP was sent to 25-30 vendors AND submitted to the North Carolina Department of Administration Historically Underutilized Businesses. Due to the high outreach efforts and likely the same response to be generated by a rebid, staff is requesting Council to waive the three bid requirement and award the project to the lowest responsive bidder who actually came in under our engineered estimates.

## **Requested Action**

Discussion and Consideration of Awarding Construction Bid to Lowest Responsive Bidder, Sonshine Construction, Inc. in Amount Not to Exceed \$78,957.20 with a Contingency of \$7,895.72 for the Construction of Sanitary Sewer to Serve Parcel 06225390A (Corner of New Town Road and Marvin School Road) AND Authorize Manager to Execute Agreement Contingent Upon Attorney Review.

Excerpt from Finance Policy

**3.4 Informal Bids: Construction or Repair Contracts between \$30,000.00 and \$499,999.99**

Notwithstanding Section 4.2 and 4.6 of this policy, purchases in this range must be obtained through *informal bids per G.S. 143-131*. Departments are responsible for arranging a request for quote (RFQ) and will allow vendors sufficient time to respond to the request based on its complexity. RFQs in the informal bid range may or may not be advertised to the public in compliance with G.S. 143-129. A minimum of three (3) vendors, if available, will receive the RFQ. A minimum number of three (3) quotes is required. Quotes in the informal bid range may be submitted through U.S. Mail, email, fax, or hand delivery. Verbal quotes are unacceptable in the informal bid price range.

Purchases within this threshold must be have prior budget authority AND selection of the vendor must be approved by an action of the governing board in an official public meeting before issuance of payment. In addition, in compliance with G.S. 143-128(a1), selection of construction method for building projects over \$300,000 must be authorized and approved by Village Council in an official public meeting. In order to meet the pre-audit requirements of G.S. 159-28, purchases between \$30,000-\$499,999.99 must comply with Section 2.4 of this policy. Purchases within this threshold require Village Administrator approval as part of the *Purchase Order/Quote Form* authorization. Formal Historically Underutilized Business (HUB) requirements should be used for informally bid projects costing between \$300,000 and \$500,000 for Local Funded projects or \$100,000 and above for State Funded projects in compliance with G.S. 143-128.2; in addition, projects costing \$30,000 or above shall comply with informal HUB requirements as set forth in G.S. 143-131 (b) (see Exhibit F as attached herein).



**INSTRUCTIONS TO BIDDERS**

All Bids shall be placed in a sealed envelope with the following information printed on the outside of the envelope:

<b>BID FOR:</b>	<u>Marvin Town Sanitary Sewer Extension</u> <i>Project Name</i>	<b>BID ID # 1001</b>
<b>BIDDER'S NAME:</b>	SONSHINE CONSTRUCTION, INC. _____ <i>Contractor's Name</i>	
<b>DO NOT OPEN UNTIL:</b>	<u>March 23, 2021 12:00 p.m. E.S.T</u> <i>Bid Opening Date &amp; Time</i>	

**BID BOND:** Each proposal must be accompanied by a Bid Deposit of cash, certified check or a fully executed Bid Bond payable to the Village of Marvin in an amount of five percent (5%) of the gross amount of the base-bid proposal executed in accordance with and conditioned as prescribed by North Carolina General Statute 143-129 as amended.

**BIDS ARE FIRM OFFERS:** All Bids shall be firm offers to contract for 120 days from the Bid Deadline. Unless forfeited, Bid Bonds shall be returned to Bidders upon the earlier of Contract Award or 180 days from the Bid Deadline.

**BID PHASE CONTACT:** For questions regarding the Project or Instructions to Bidders, contact: Christina Alphin, Village Administrator. The Village will attempt to answer all questions in writing by addenda. **THE VILLAGE WILL NOT MAKE ORAL REPRESENTATIONS AND BIDDERS MAY NOT RELY ON ORAL REPRESENTATIONS.**

**ADDENDA:** Addenda will be filed on Village's website and delivered by email to all persons who have requested Contract Documents. The Bidder shall be responsible for inquiring if Addenda have been issued.

**SELECTION CRITERIA:** It is the intent of the Village to award a Contract to the lowest responsive, responsible Bidder provided the Bid has been submitted in accordance with the requirements of the Bidding Documents and does not exceed the funds available. However, the Village reserves the right to reject any and all bids. The Village reserves the sole right to waive informalities and irregularities in a Bid received and to accept the Bid which, in the Village's judgment, is in the Village's own best interests. Alternates will be reviewed in consideration of the overall project cost to determine feasibility within the project budget. The Village shall accept or reject any alternates in any order or combination. To determine the lowest bidder, the Village shall calculate the sum of the total base bid and/or the deduction or addition of the alternates, if accepted. Consideration will be given only to Bids from contractors who are properly licensed, bonded, experienced in the class of work proposed and who can refer to projects of similar magnitude and character that have been completed by them.

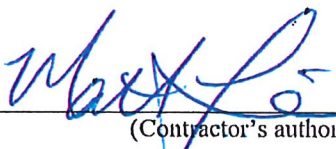
**ONLY 1 BID PER ENTITY:** No entity or person may submit or participate in the submission of more than one (1) Bid.

**INSTRUCTIONS TO BIDDERS**

**NEGOTIATIONS WITH APPARENT LOW BIDDER:** The Village reserves the right to negotiate with the lowest responsive and responsible bidder if the bid exceeds estimated costs or available funds. Negotiations may include reduction in bid price, modification, and/or reduction in scope of the work, substitution of materials, or any other alterations to the work, so that the low bid is reduced to within available funds, including a reasonable fund balance for contingency funds to be available during the course of construction.

**CONTRACT AWARD:** The Village will inform the Selected Bidder of its selection and request that the Selected Bidder submit the executed Agreement plus insurance certificates and payment and performance bonds. The Selected Bidder shall submit the requested documents so that they are received by Village within 10 calendar days (or such other time as designated by Village) from the date of notice of selection. The Selected Bidder's failure to do so will result in forfeiture of its bid bond. The contract shall not be deemed awarded and this Agreement shall not be binding on the Village unless and until both the Selected Bidder and Village have both executed the Agreement.

**MBE Goal:** The MBE participation goal for this contract is 10%.

Signed by:  Printed: MATT FARRIE  
(Contractor's authorized company representative)

Contractor's Name: SUNSHINE CONSTRUCTION INC.

**BID PROPOSAL FORM**

Page 1 of 2

**PROJECT NAME: MARVIN VILLAGE HALL  
10006 MARVIN SCHOOL ROAD  
MARVIN, NC 28173- SANITARY SEWER LINE EXTENSION.**

**NAME OF BIDDER: Sonshine Construction, Inc.**

The undersigned bidder hereby offers, in the lump sum amount stated below, to furnish all labor, materials, tools, equipment, apparatus, facilities, transportation and permits for the construction of the Village of Marvin Village Hall at 10006 Marvin School Road, Marvin, NC, if this offer is accepted by the Village.

**TOTAL AMOUNT OF BASE BID    \$78,957.20    \_\_\_\_\_ LUMP SUM**  
(use figures only)

The base bid amount is to be stated in figures only and is the total amount bid for the entire contract work including all applicable allowances and taxes. Any alteration, erasure, or change must be clearly indicated and initialed by the bidder. The bidder agrees that if there are any discrepancies or questions in the figures, the Village will use the lower figure despite the bidder's intent.

Additionally, provide the amounts for the following divisions:

- Division 01 — General Requirement \$5600 \_\_\_\_\_
- Division 02 — Site Construction \$73,357.20 \_\_\_\_\_
- Division 03 — Concrete \_\_\_\_\_
- Division 04 — Masonry \_\_\_\_\_
- Division 05 — Metals \_\_\_\_\_
- Division 06 — Wood and Plastics \_\_\_\_\_
- Division 07 — Thermal and Moisture Protection \_\_\_\_\_
- Division 08 — Doors and Windows \_\_\_\_\_
- Division 09 — Finishes \_\_\_\_\_
- Division 10 — Specialties (Signage, bathroom accessories, fire extinguishers, etc) \$ \_\_\_\_\_
- Division 11 — Equipment (appliances) \$ \_\_\_\_\_
- Division 12 — Furnishings (window blinds, casework, etc.)  
\$ \_\_\_\_\_
- Division 13 — Special Construction
- Division 14 — Conveying Systems
- Division 15 — Mechanical/Plumbing \_\_\_\_\_
- Division 16 — Electrical \_\_\_\_\_



**BID PROPOSAL FORM**

Page 2 of 2

**ACKNOWLEDGEMENT OF ADDENDA:**

The undersigned acknowledges receipt of the following addenda:

No.   1   Dated:  3-1-21 

No.   2   Dated:  3-9-21 

No.   3   Dated:  3-16-21 

No.   4   Dated:  3-22-21 

No.        Dated:       

No.        Dated

**MBE FORMS**

(Attach appropriate forms to this sheet)

*Village of Marvin*  
**“GOOD FAITH EFFORT”**

COUNTY OF Meck

AFFIDAVIT OF Sonshine Construction, Inc.  
(Name of Bidder)

**I have a good faith effort to comply under the following areas checked:**

(A minimum of 5 areas must be checked Yes in order to have achieved a “good faith effort”)

(Y/N)

- Y\_\_\_\_\_ (1) Contacting minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor or available on State or local government maintained lists at least 10 days before the bid or proposal date and notifying them of the nature and scope of the work to be performed.
- Y\_\_\_\_\_ (2) Making the construction plans, specifications and requirements available for review by prospective minority businesses or providing these documents to them at least 10 days before the bid or proposals are due.
- \_\_\_\_\_ (3) Breaking down or combining elements of work into economically feasible units to facilitate minority participation.
- \_\_\_\_\_ (4) Working with minority trade, community, or contractor organizations identified by the Office of Historically Underutilized Businesses and included in the bid documents that provide assistance in recruitment of minority businesses.
- \_\_\_\_\_ (5) Attending any probed meetings scheduled by the public owner.
- \_\_\_\_\_ (6) Providing assistance in getting required bonding or insurance or providing alternatives to bonding or insurance for subcontractors.
- Y\_\_\_\_\_ (7) Negotiating in good faith with interested minority businesses and not rejecting them as unqualified without sound reasons based on their capabilities. Any rejection of minority business based on lack of qualification should have the reasons documented writing.
- Y\_\_\_\_\_ (8) Providing assistance to an otherwise qualified minority business in need of equipment, loan capital, lines of credit, or joint pay agreements to secure loans, supplies, or letters of credit, including waiving credit that is ordinarily is required. Assisting minority businesses in obtaining the same unit pricing with the bidder’s suppliers in order to help minority businesses in establishing credit.



ATTACH TO BID ATTACH TO BID ATTACH TO BID ATTACH TO BID

**Identification of Minority Business Participation**

I, Sonshine Construction, Inc. \_\_\_\_\_  
(Name of Bidder)

do hereby certify that on this project, we will use the following minority business enterprises as construction subcontractors, vendors, suppliers or providers of professional services.

Firm Name, Address and Phone #	Work Type	*Minority Category
Salas Carpentry 704-451-9087	framing	H
Vanessa Funez	cleaning	H

\*Minority categories: Black, African American (B), Hispanic (H), Asian American (A), American Indian (I), Female (F), Socially and Economically Disadvantaged (D)

The total value of minority business contracting will be (\$) 47,955.



## VILLAGE OF MARVIN

10004 New Town Road | Marvin, NC | 28173 | Tel: (704) 843-1680 | Fax: (704) 843-1660 | [www.marvinnc.org](http://www.marvinnc.org)

**TO:** Mayor and City Council  
**FROM:** Christina Amos, Village Manager  
**SUBJECT:** Village Hall Design Review Board Affirmation  
**DATE:** March 17, 2021

### Current

At the time of this writing, the Design Review Board was set to meet to discuss and consider approval of all the plans as attached on 3/17/21 (later this afternoon at the time of this writing). It is expected approval will be granted from all the documents attached. Staff will have a report prepared before the Council meeting based off the discussion/approval that will take place tonight.

### Requested Action

Affirm the Design Review Board Approval of the Village Hall Project located at the corner of New Town Road and Marvin School Road with any Recommendations for each the (i) Site Plans, (ii) Building Plans, and (iii) Landscape Plans.



SCALE: 1" = 50'

SCALE: 1" = 50'

NO.	DATE	BY	DESCRIPTION
1	02/18/21	BAL	ADAMP COORD

DRAWN BY: [ ]  
 CHECKED BY: [ ]  
 DATE: [ ]  
 TITLE: [ ]

COVER SHEET

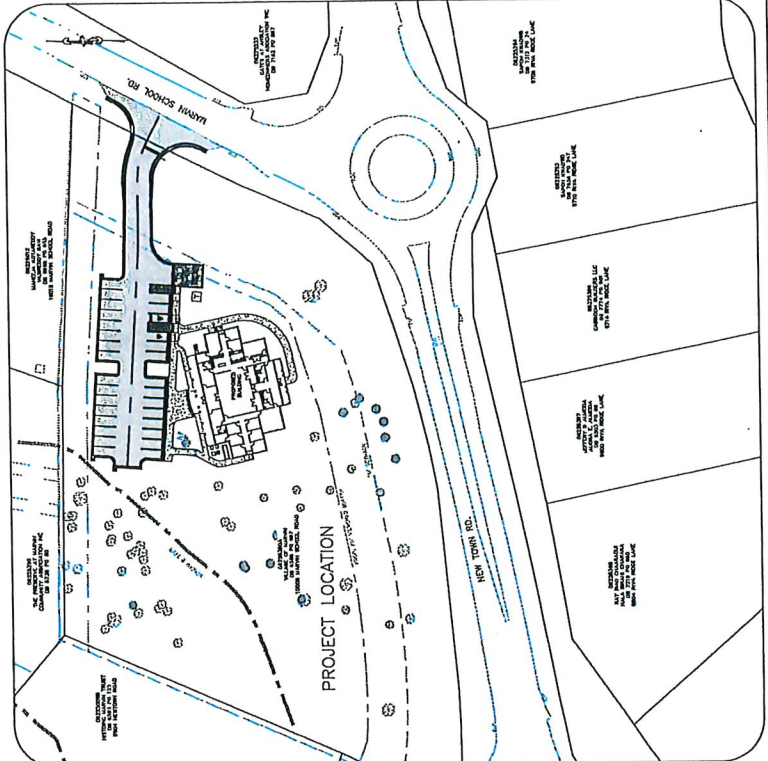
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# VILLAGE OF MARVIN

## NEW VILLAGE HALL SITE DEVELOPMENT 100% CONSTRUCTION DOCUMENTS

### 10006 MARVIN SCHOOL ROAD MARVIN, NORTH CAROLINA

VICINITY MAP SCALE: 1" = 50'



LOCATION MAP SCALE: NTS



**CONTACTS**

OWNER:  
 VILLAGE OF MARVIN  
 CHRISTINA AMOS  
 10006 MARVIN SCHOOL ROAD  
 MARVIN, NC 28173  
 PH: (704) 843-1680  
 FAX: (704) 843-1650  
 MANAGER@MARRINC.ORG

ENGINEER:  
 DEWBERRY ENGINEERS, INC.  
 BRIAN LAFRANCHI, P.E.  
 4000 NORTH CAROLINA PARKWAY  
 SUITE 200  
 CHARLOTTE, NC 28269  
 PH: (704) 631-6206  
 FAX: (704) 631-6200  
 BIL@DEWBERRY.COM

SUBMITTAL	SET NUMBER
<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION
<input type="checkbox"/> APPROVAL	<input type="checkbox"/> REVISION
<input type="checkbox"/> BIDDING	<input type="checkbox"/> RECORD

DRAWING INDEX	ORIGINAL DATE	REVISED DATE
GENERAL COVER SHEET	02/18/21	03/11/21
CIVIL		
C2.01	02/18/21	03/11/21
C2.02	02/18/21	03/11/21
C2.03	02/18/21	03/11/21
C2.04	02/18/21	03/11/21
C2.05	02/18/21	03/11/21
C2.06	02/18/21	03/11/21
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**SURVEY BY OTHERS**  
 "TOPOGRAPHIC SURVEY" BY YARBROUGH-WILLIAMS & HOLLIE, INC., DATED 06/25/16  
 "TOPO SURVEY" BY YARBROUGH-WILLIAMS & HOLLIE, INC., DATED 01/21/21



**PROJECT / BUILDING INFORMATION:**

SCOPE OF WORK: VILLAGE HALL BUILDING  
 BUILDING AREA: 6,029 SF  
 BUILDING HEIGHT: 28 FT  
 BUILDING ID: 06225300A  
 ZONING: R 98 AC  
 PROJECT AREA: 0.98 AC  
 DENDED LIMITS: 0.98 AC

**CODE REFERENCES**

CODE MODIFICATIONS: NONE  
 AMERICANS WITH DISABILITIES ACT - ACCESSIBILITY GUIDELINES, 2010 (ADAAG)  
 NOTED EROSION AND SEDIMENT CONTROL MANUAL - 2013  
 NC DOT POLICY ON STREET AND DRIVEWAY ACCESS TO SIDEWALKS  
 VILLAGE OF MARVIN ENGINEERING STANDARDS AND PROCEDURES MANUAL - 2017



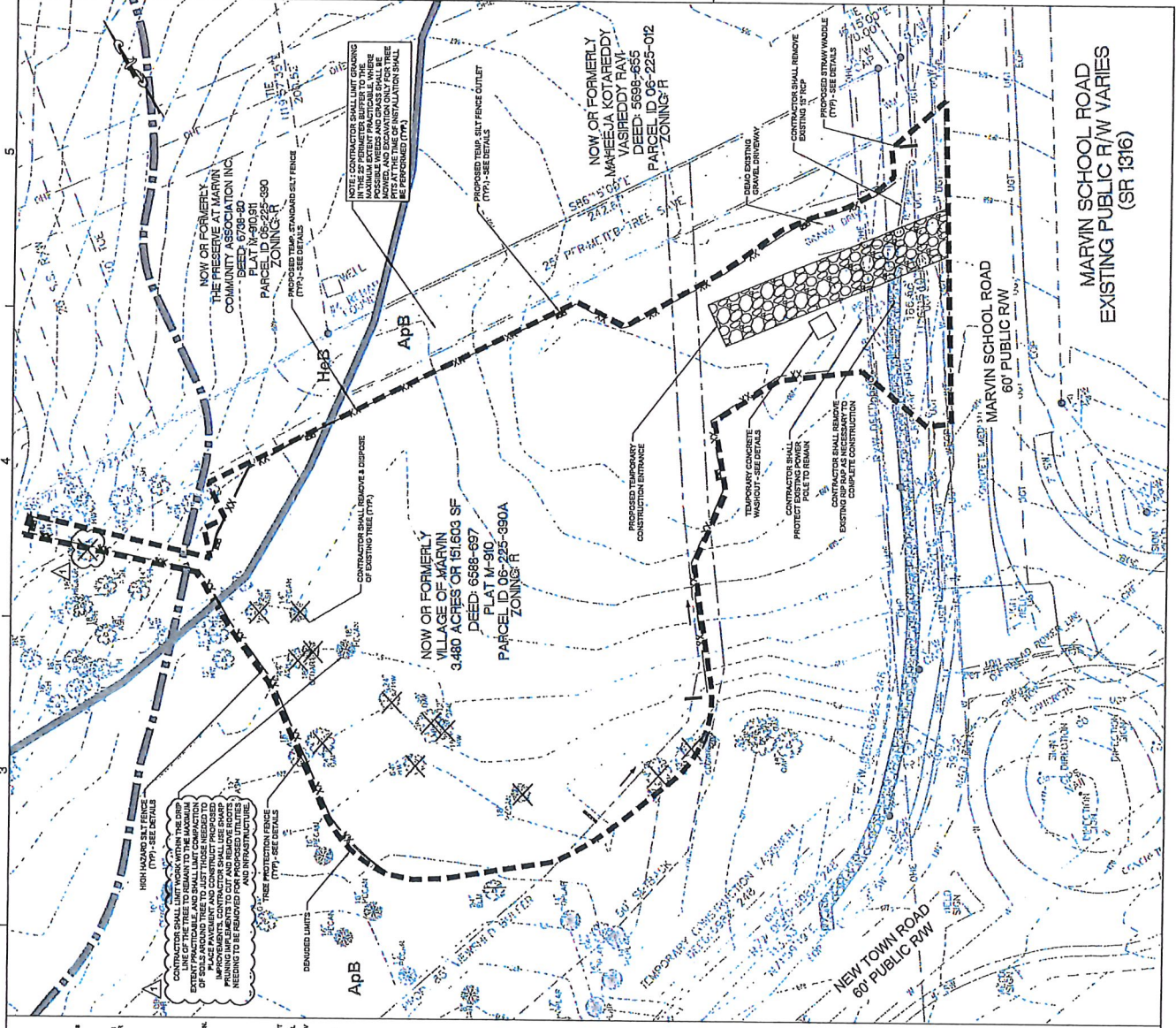
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DRAWN BY: EVJ  
CHECKED BY: BNL  
APPROVED BY: BNL  
DATE: PERMIT/FILE/ISSUE

TITLE: DEMOLITION & PHASE 1 EROSION AND SEDIMENT CONTROL PLAN

CD PROJECT NO. 201401

SHEET NO. C2.01



- 1. DEMOLITION AND EROSION CONTROL MEASURES:**
1. OBTAIN DESIGN CONTRACT PLAN APPROVAL FROM LOCAL AGENCIES.
  2. THE PROPERTY IS LOCATED IN THE VILLAGE OF MARVIN.
  3. SELECT TREE REFERENCES TO BE MAINTAINED OR REMOVED.
  4. OBTAIN TREE REMOVAL PERMITS FROM LOCAL AGENCIES.
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  99. OBTAIN TREE REMOVAL PERMITS FROM LOCAL AGENCIES.
  100. OBTAIN TREE REMOVAL PERMITS FROM LOCAL AGENCIES.







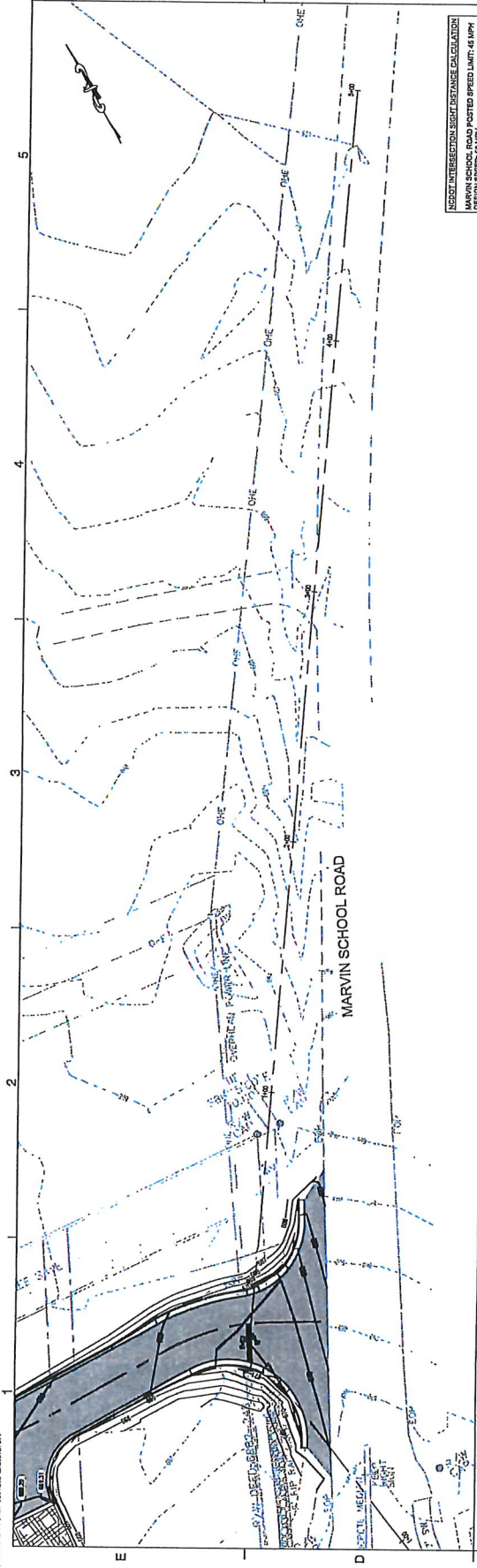
NO.	DATE	BY	DESCRIPTION

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 APPROVED BY: BML  
 CHECKED BY: JHE  
 DATE: FEBRUARY 11, 2011  
 TITLE:

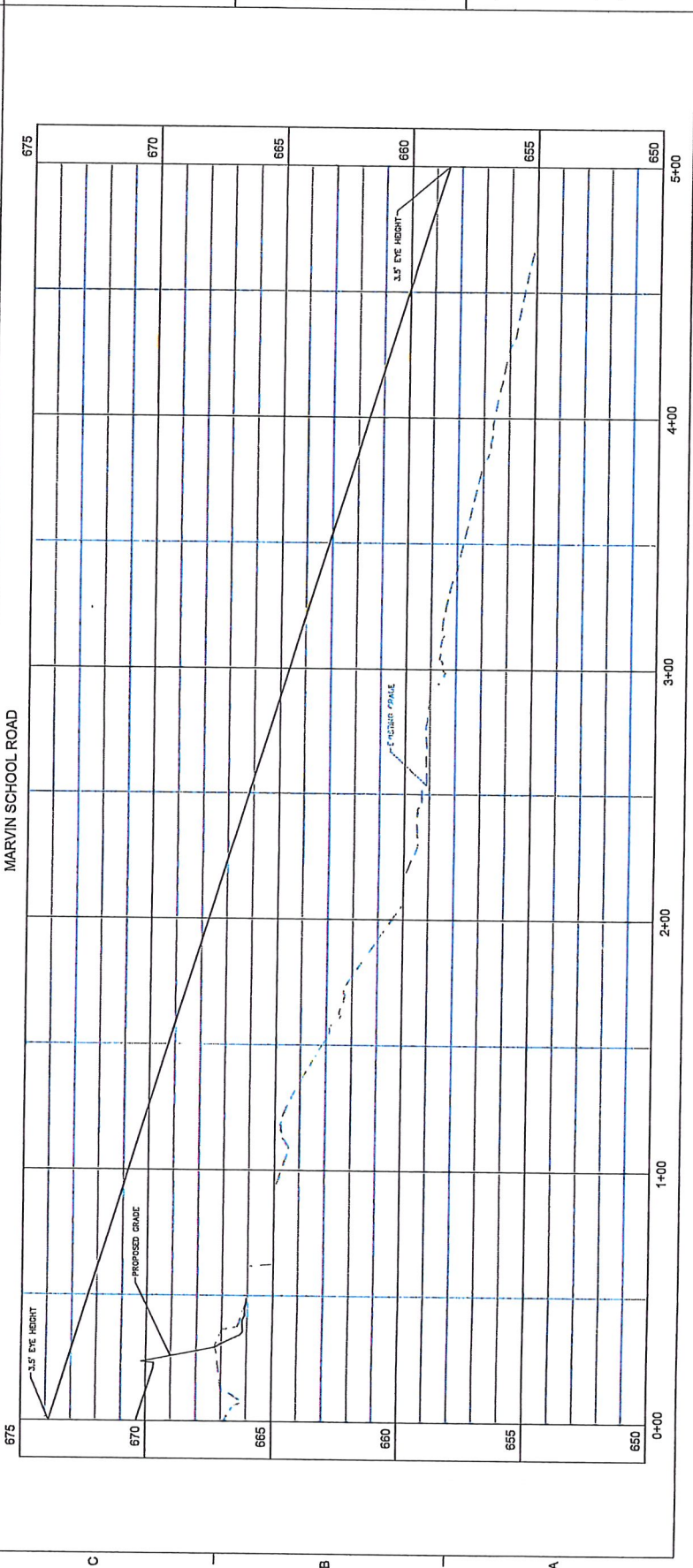
SITE DISTANCE  
 PLAN AND  
 PROFILE

201 PROJECT NO: 081010101  
 SHEET NO.

**C3.02**



SIGHT INTERSECTION SIGHT DISTANCE CALCULATION  
 MARVIN SCHOOL ROAD POSTED SPEED LIMIT: 45 MPH  
 HEIGHT: 5.0 FT.

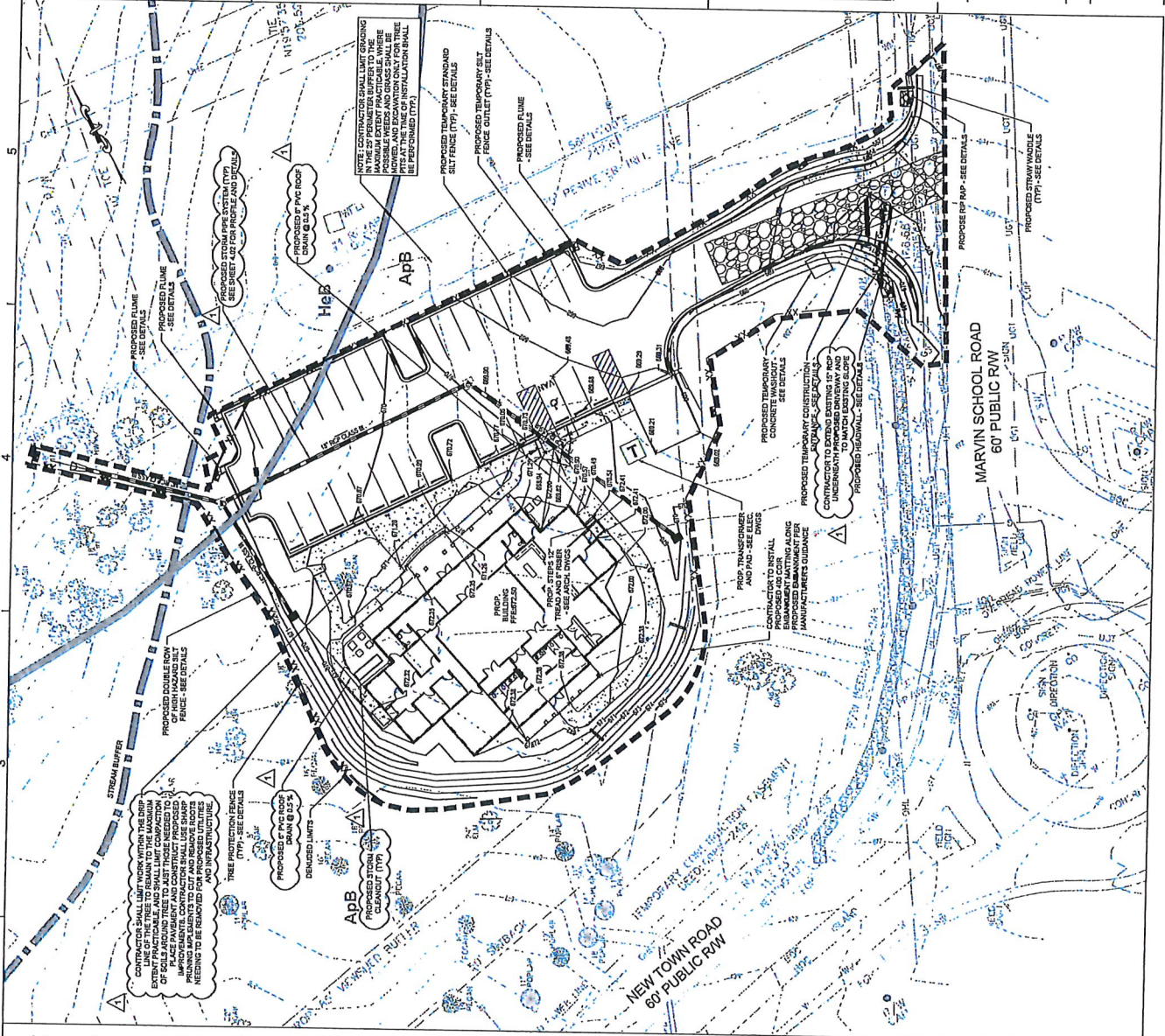






NO.	REVISION	DATE	BY	DESCRIPTION
1	REVISED	08/14/2012	JHL	AMEND CORRO

DRAWN BY: JHL  
 CHECKED BY: JHL  
 DATE: FEBRUARY 14, 2012  
 TITLE: GRADING & EROSION AND SEDIMENT CONTROL PLAN  
 SHEET NO.: C4.01  
 DESIGNER/NO. DRAWN:



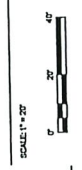
- GENERAL NOTES:**
1. TOPOGRAPHIC INFORMATION SHOWN WITHIN PROJECT LIMITS, TAKEN FROM SURVEY DATA, SHALL BE USED TO DETERMINE EXISTING ELEVATIONS OF EXISTING AND PROPOSED STRUCTURES AND UTILITIES. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
  2. APPROVAL OF THIS PLAN IS NOT AN ENDORSEMENT OF ANY PRODUCTS OR MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
  3. CLEARING AND GRUBBING SHALL BE PERFORMED WITHIN THE BOUNDARIES OF THE PROJECT. ALL CLEARING AND GRUBBING SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
  4. ALL LAND OWNERS MUST BE NOTIFIED PRIOR TO CONSTRUCTION AND ALL NEIGHBORS MUST BE ADVISED.
  5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
  6. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
  7. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
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  20. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
- LEGEND:**
- EXISTING STREAM BUFFER
  - PROPOSED DISTANCE LIMITS
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EXISTING UNDERGROUND UTILITY
  - EXISTING OVERHEAD UTILITY
  - EXISTING UNDERGROUND TELEPHONE
  - EXISTING UNDERGROUND CABLE
  - EXISTING UNDERGROUND FIBER OPTIC
  - EXISTING UNDERGROUND GAS
  - EXISTING UNDERGROUND WATER
  - EXISTING UNDERGROUND SLOPE
  - EXISTING UNDERGROUND ELEVATION
  - EXISTING UNDERGROUND DRAINAGE
  - EXISTING UNDERGROUND SEWER
  - EXISTING UNDERGROUND SANITARY
  - EXISTING UNDERGROUND VENT
  - EXISTING UNDERGROUND AIR
  - EXISTING UNDERGROUND POWER
  - EXISTING UNDERGROUND TELEVISION
  - EXISTING UNDERGROUND RADIATION
  - EXISTING UNDERGROUND SOUND
  - EXISTING UNDERGROUND LIGHT
  - EXISTING UNDERGROUND HEAT
  - EXISTING UNDERGROUND COOLING
  - EXISTING UNDERGROUND WIND
  - EXISTING UNDERGROUND POLLUTION
  - EXISTING UNDERGROUND DUST
  - EXISTING UNDERGROUND PARTICULATE
  - EXISTING UNDERGROUND OZONE
  - EXISTING UNDERGROUND ACID RAIN
  - EXISTING UNDERGROUND SALINITY
  - EXISTING UNDERGROUND TOXICITY
  - EXISTING UNDERGROUND BIOLOGICAL
  - EXISTING UNDERGROUND CHEMICAL
  - EXISTING UNDERGROUND PHYSICAL
  - EXISTING UNDERGROUND METEOROLOGICAL
  - EXISTING UNDERGROUND CLIMATOLOGICAL
  - EXISTING UNDERGROUND HYDROLOGICAL
  - EXISTING UNDERGROUND GEOLOGICAL
  - EXISTING UNDERGROUND SOIOLOGICAL
  - EXISTING UNDERGROUND ANTHROPOLOGICAL
  - EXISTING UNDERGROUND LINGUISTICAL
  - EXISTING UNDERGROUND ARCHAEOLOGICAL
  - EXISTING UNDERGROUND HISTORICAL
  - EXISTING UNDERGROUND ETHNOGRAPHICAL
  - EXISTING UNDERGROUND ETHNOLOGICAL
  - EXISTING UNDERGROUND LINGUISTIC
  - EXISTING UNDERGROUND ARCHAEOLOGICAL
  - EXISTING UNDERGROUND HISTORICAL
  - EXISTING UNDERGROUND ETHNOGRAPHICAL
  - EXISTING UNDERGROUND ETHNOLOGICAL
- PHASE 2:**
1. CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
  2. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND STANDARDS.
  3. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
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  20. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND STANDARDS.
- GENERAL NOTES:**
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  2. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND STANDARDS.
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  20. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND STANDARDS.





Dewberry Earthworks, Inc.  
 10000 Main Street, Suite 100  
 Princeton, NJ 08540  
 Phone: 609.426.1000  
 Fax: 609.426.1001  
 www.dewberry.com

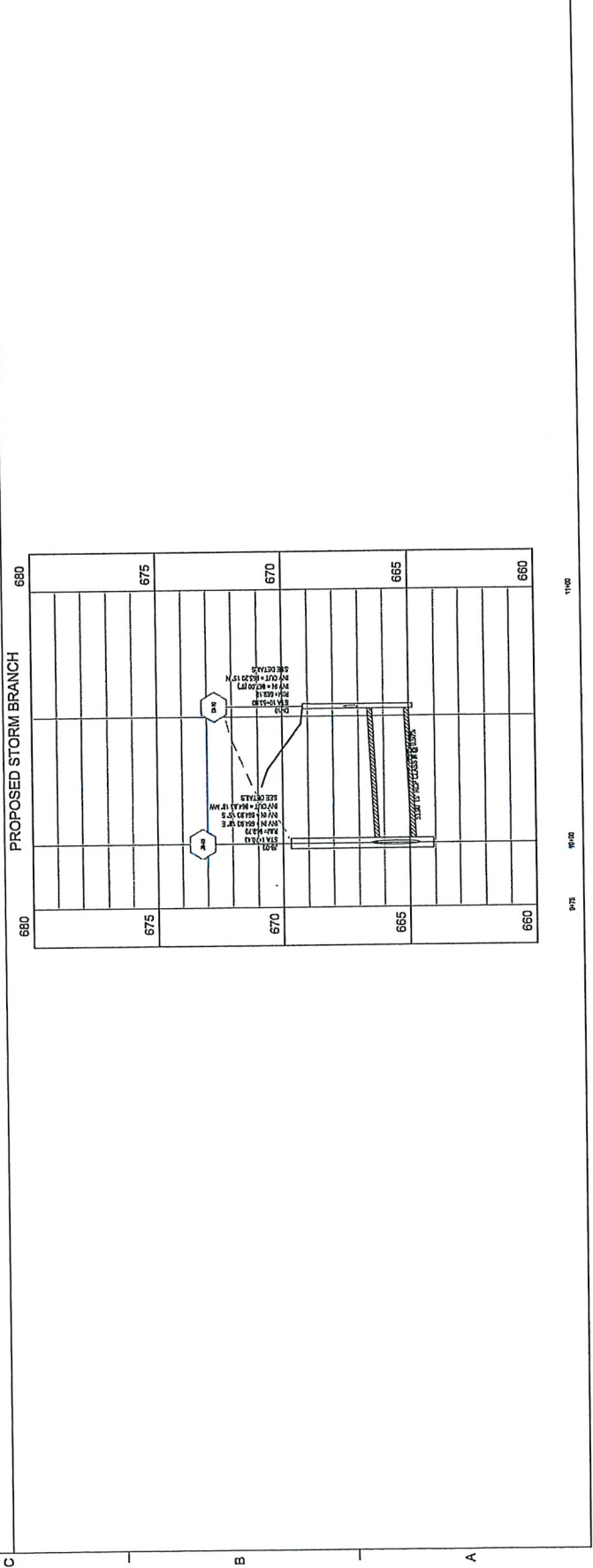
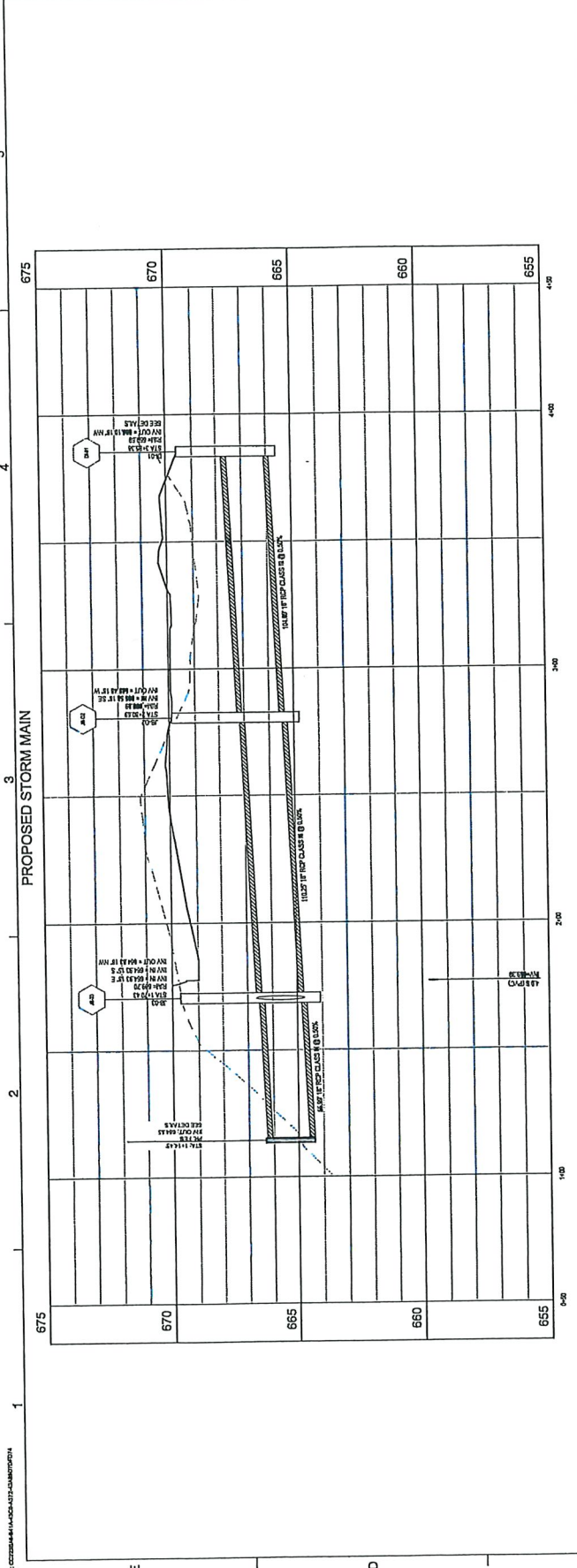
VILLAGE OF MARVIN  
 NEW VILLAGE HALL  
 SITE DEVELOPMENT  
 100% CONSTRUCTION DOCUMENTS  
 10000 MARVIN SCHOOL ROAD  
 MARVIN, NJ



NO.	DATE	BY	DESCRIPTION
1			CONTRACTOR TAKE ANNOT COORD

DRAWN BY: DJV  
 APPROVED BY: DJL  
 CHECKED BY: DJL  
 DATE: FEBRUARY 13, 2021  
 TITLE: STORM PROFILES

DESIGNED BY: DJV  
 SHEET NO. C4.02



NO.	DATE	BY	DESCRIPTION
1	02/14/13	DM	CONSTRUCTION DOCUMENTS

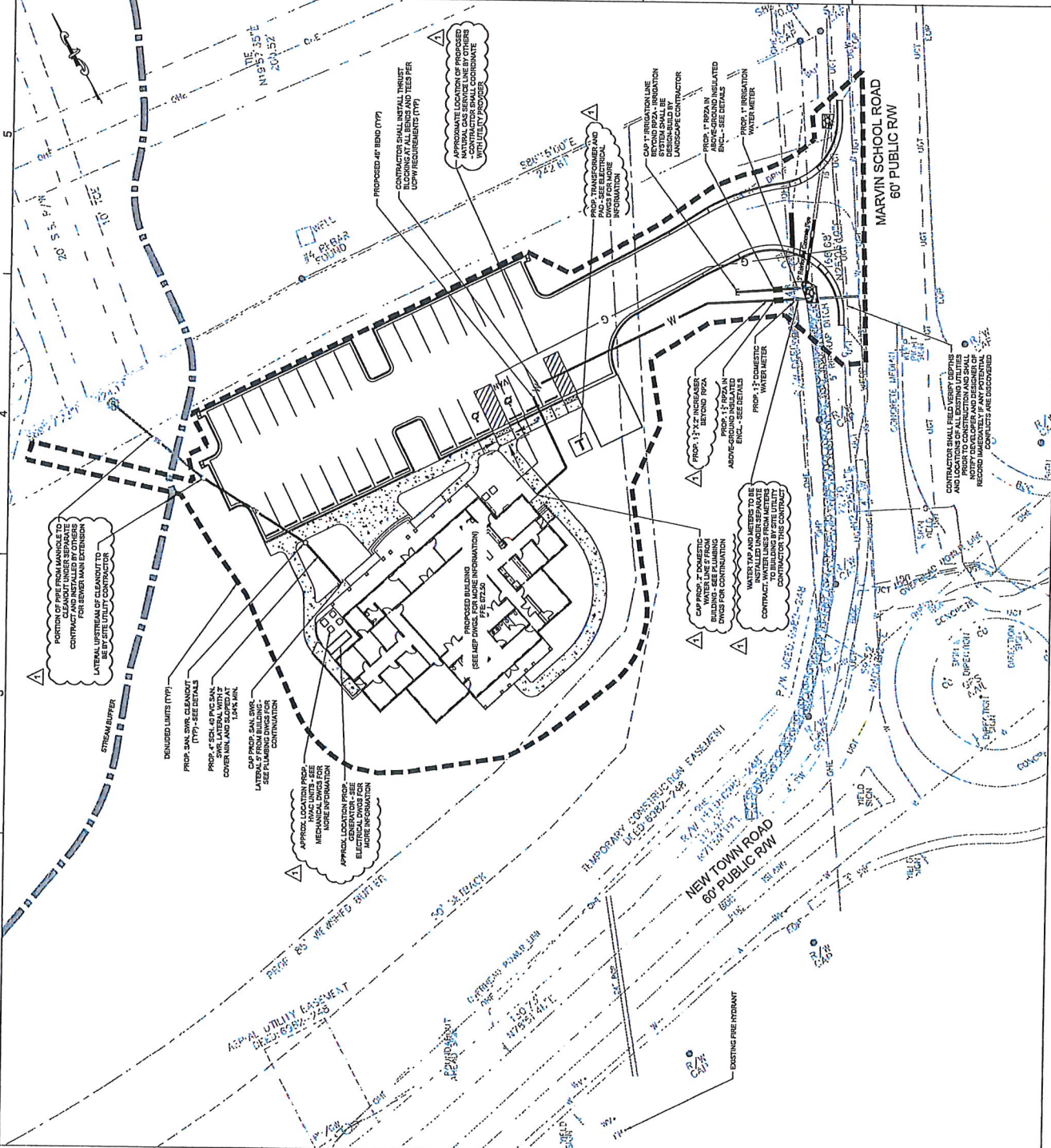
DRAWN BY	DM
APPROVED BY	DM
CHECKED BY	DM
DATE	FEBRUARY 14, 2013
TITLE	UTILITY PLAN

**UTILITY PLAN**

PROJECT NO. 2012001

SHEET NO.

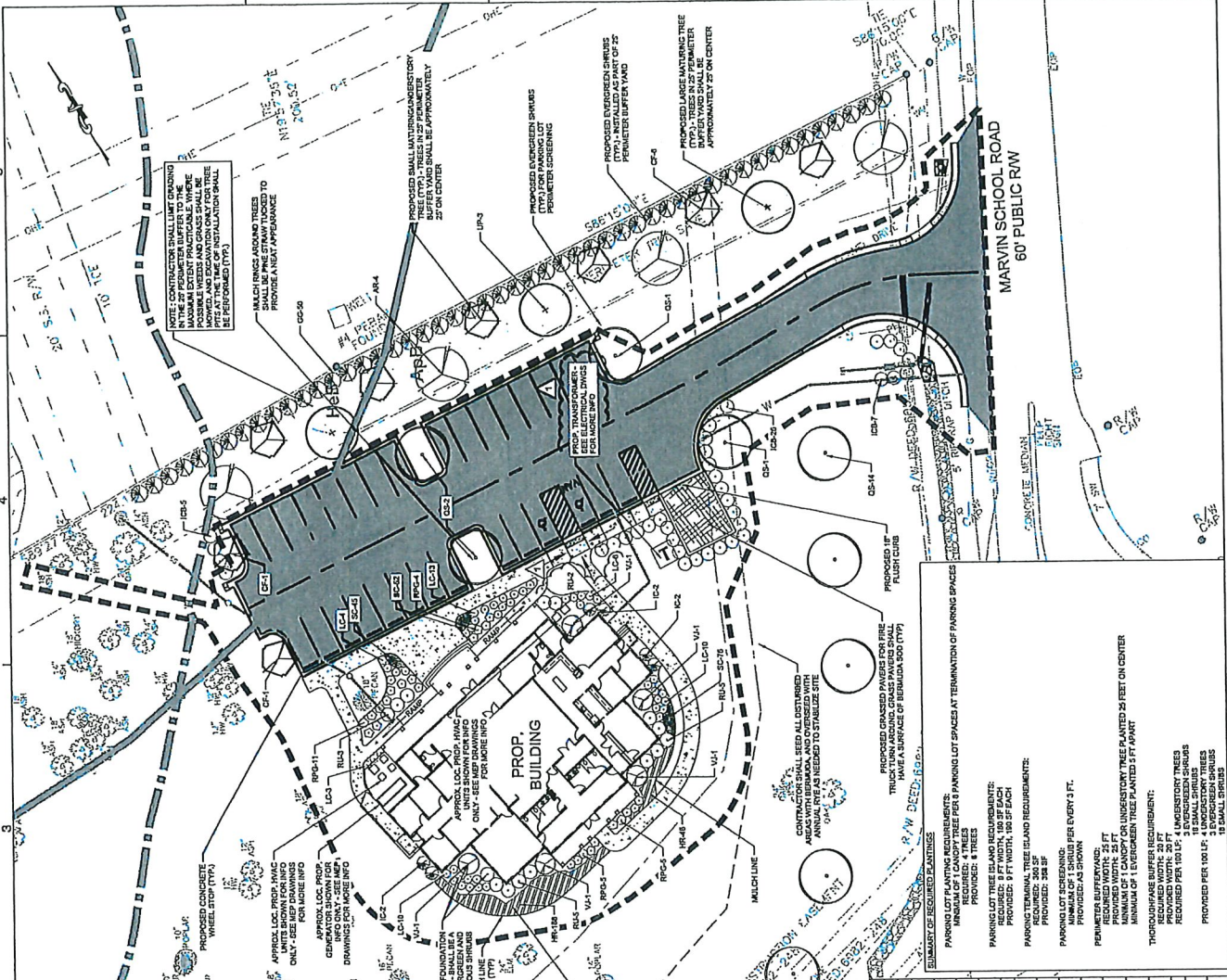
**C5.01**



- NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE LOCAL AND STATE AGENCIES.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE LOCAL AND STATE AGENCIES.
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- LEGEND:**
- EXISTING STREAM BUFFER
  - PROPOSED DISTURBED LIMITS
  - EXISTING UNDISTURBED TELEPHONE
  - EXISTING UNDISTURBED ELECTRICAL
  - UNDISTURBED GAS LINE
  - EXISTING WATER PIPE
  - EXISTING CURBSIDE OF PAVEMENT
  - EXISTING RIGHT OF WAY
  - PROPOSED WATER PIPE
  - PROPOSED SANITARY SEWER PIPE
  - PROPOSED CONCRETE SIDEWALK



NO.	DATE	BY	DESCRIPTION
1	02/14/2021	BM	ISSUED FOR PERMITS
2	02/14/2021	BM	ISSUED FOR PERMITS
3	02/14/2021	BM	ISSUED FOR PERMITS
4	02/14/2021	BM	ISSUED FOR PERMITS
5	02/14/2021	BM	ISSUED FOR PERMITS
6	02/14/2021	BM	ISSUED FOR PERMITS
7	02/14/2021	BM	ISSUED FOR PERMITS
8	02/14/2021	BM	ISSUED FOR PERMITS
9	02/14/2021	BM	ISSUED FOR PERMITS
10	02/14/2021	BM	ISSUED FOR PERMITS



**REVISIONS**

NO.	DATE	BY	DESCRIPTION
1	02/14/2021	BM	ISSUED FOR PERMITS
2	02/14/2021	BM	ISSUED FOR PERMITS
3	02/14/2021	BM	ISSUED FOR PERMITS
4	02/14/2021	BM	ISSUED FOR PERMITS
5	02/14/2021	BM	ISSUED FOR PERMITS
6	02/14/2021	BM	ISSUED FOR PERMITS
7	02/14/2021	BM	ISSUED FOR PERMITS
8	02/14/2021	BM	ISSUED FOR PERMITS
9	02/14/2021	BM	ISSUED FOR PERMITS
10	02/14/2021	BM	ISSUED FOR PERMITS

**REVISIONS**

CONTRACTOR SHALL SEED ALL DISTURBED TRUCK LURNS AROUND GRASS PAVED SHALL HAVE A SURFACE OF BERGAMUD (TP) ANNUAL RATE AS NEEDED TO STABILIZE SITE.

**REVISIONS**

PROPOSED LARGE MATURING TREE (TP) 1 1/2\"/>

**LANDSCAPING SCHEDULE**

TREES	ZONE	QTY	BOTANICAL NAME	COMMON NAME	COND.	HEIGHT/SPREAD	CALIPER	SPACING	BOTANICAL NAME
TR	4	4	RED MAPLE	RED MAPLE	BB	18' HT.	3" CAL.	4' O.C.	FULL MATCHED SPECIMEN
UP	3	1	LACINIA PALM	LACINIA PALM	BB	10' HT.	3" CAL.	4' O.C.	FULL MATCHED SPECIMEN
GS	18	1	SHRUB DORR	SHRUB DORR	BB	10' HT.	3" CAL.	4' O.C.	FULL MATCHED SPECIMEN
CF	8	1	SHRUB DORR	SHRUB DORR	BB	8' HT.	2" CAL.	4' O.C.	FULL MATCHED SPECIMEN
SHRUBS	3B	1	DWARF BURFORD HOLLY	DWARF BURFORD HOLLY	BB/DR	24" HT./18" SP.	N/A	4' O.C.	FULL MATCHED SPECIMEN
RU	15	1	PHAROSIS UNBELATA	PHAROSIS UNBELATA	DR/CON	24" HT./24" SP.	N/A	4' O.C.	FULL MATCHED SPECIMEN
VJ	6	1	YUCCA UNBELATA	YUCCA UNBELATA	BB/DR	36" HT.	N/A	AS SHOWN	FULL MATCHED SPECIMEN
JC	6	1	JAPANESE HOLLY	JAPANESE HOLLY	DR/CON	30" HT.	N/A	AS SHOWN	FULL MATCHED SPECIMEN
GC	50	1	THUNIA GREEN GUANT	THUNIA GREEN GUANT	BB	6' HT.	N/A	4' O.C.	FULL MATCHED SPECIMEN
LC	40	1	LORDPAILM CHIRISINS V.R.	LORDPAILM CHIRISINS V.R.	BB/DR	15" HT.	N/A	2.5' O.C.	FULL MATCHED SPECIMEN
RPC	25	1	RHOCHORON	RHOCHORON	BB/DR	12" HT./12" SP.	N/A	1.5' O.C.	FULL MATCHED SPECIMEN
PERENNIALS & GROUNDCOVERS	HR	2M	HIERACIUM	HIERACIUM	H-CAL	CONT.	N/A	18" O.C.	FULL SPECIMEN
	SC	173	SEASONAL COLOR	SEASONAL COLOR	FLAT	N/A	N/A	18" O.C.	FULL SPECIMEN





REVISIONS table with columns: NO., DATE, BY, DESCRIPTION

EROSION AND SEDIMENT CONTROL DETAILS  
PROJECT NO. 24-001  
SHEET NO. C6.01

4. MAINTENANCE NOTES: 1. FLEXIBLE CURBS SHALL BE INSPECTED BY THE MUNICIPALITY... 2. ANY REPAIRS SHOULD BE MADE IMMEDIATELY... 3. CURBS SHOULD BE REPAIRED WITHIN 30 DAYS... 4. CURBS SHALL BE REPAIRED WITHIN 30 DAYS... 5. CURBS SHALL BE REPAIRED WITHIN 30 DAYS...

5. GENERAL NOTES: 1. ALL FLEXIBLE CURBS SHALL BE 18 INCHES HIGH... 2. CURBS SHALL BE 18 INCHES HIGH... 3. CURBS SHALL BE 18 INCHES HIGH... 4. CURBS SHALL BE 18 INCHES HIGH... 5. CURBS SHALL BE 18 INCHES HIGH...

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12. GENERAL NOTES: 1. ALL FLEXIBLE CURBS SHALL BE 18 INCHES HIGH... 2. CURBS SHALL BE 18 INCHES HIGH... 3. CURBS SHALL BE 18 INCHES HIGH... 4. CURBS SHALL BE 18 INCHES HIGH... 5. CURBS SHALL BE 18 INCHES HIGH...





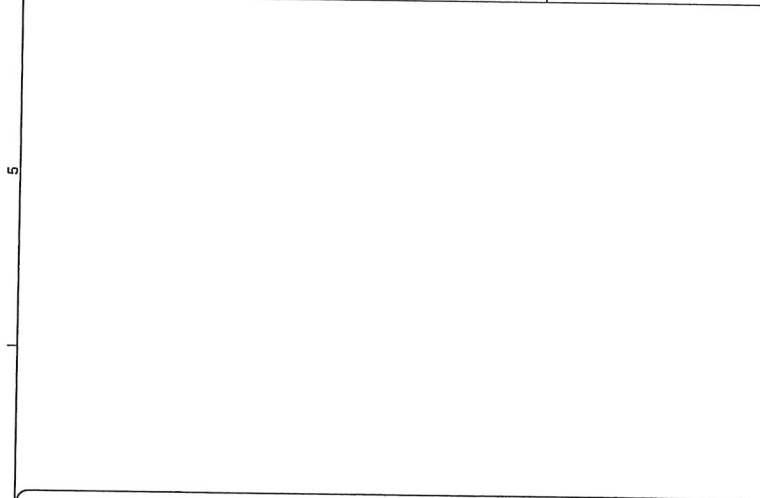




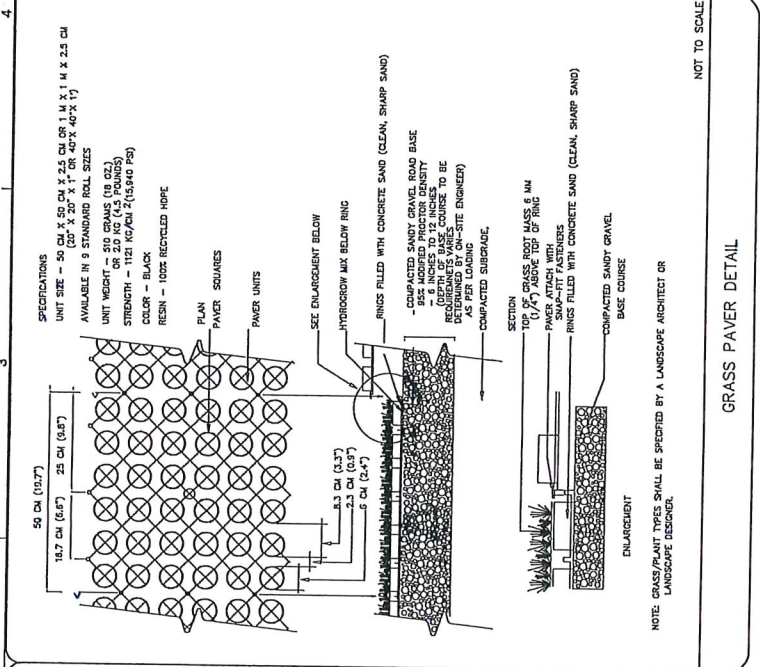
REVISIONS

NO.	DATE	BY	DESCRIPTION
1			ISSUE FOR PERMITS

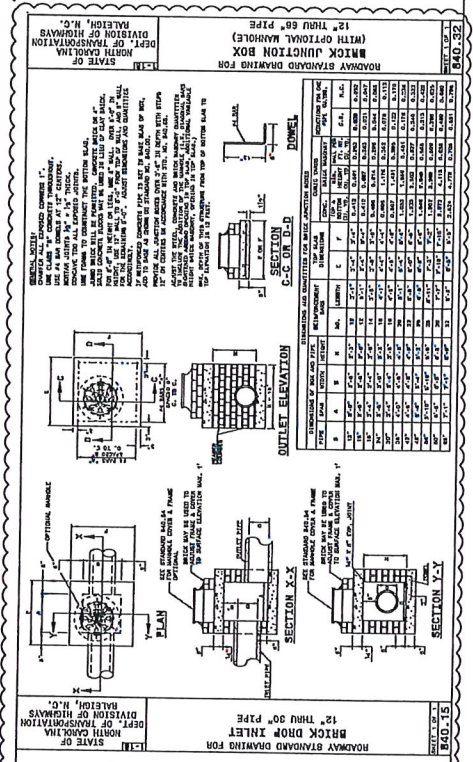
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 CHECKED BY: [ ]  
 DATE: FEBRUARY 16, 2021  
 TITLE: [ ]



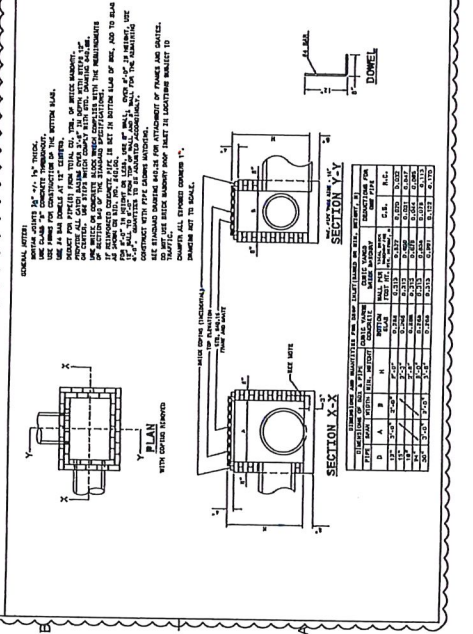
ACCESSIBLE RAMP SECTIONS MONOLITHIC CURB AND SIDEWALK  
 NOT TO SCALE



GRASS PAVER DETAIL  
 NOT TO SCALE



BRICK DROP INLET  
 12" THRU 30" PIPE  
 ROADWAY STANDARD DRAWING FOR NORTH CAROLINA DIVISION OF HIGHWAYS BALEIGH, N.C. SHEET NO. 840.15



MANHOLE  
 12" THRU 30" PIPE  
 ROADWAY STANDARD DRAWING FOR NORTH CAROLINA DIVISION OF HIGHWAYS BALEIGH, N.C. SHEET NO. 840.15

MANHOLE  
 12" THRU 30" PIPE  
 ROADWAY STANDARD DRAWING FOR NORTH CAROLINA DIVISION OF HIGHWAYS BALEIGH, N.C. SHEET NO. 840.15









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 1122 Main Street, Suite 200  
 Charlotte, NC 28202  
 704.841.5000 M  
 704.841.5040 F  
 www.urbanarchitect.com

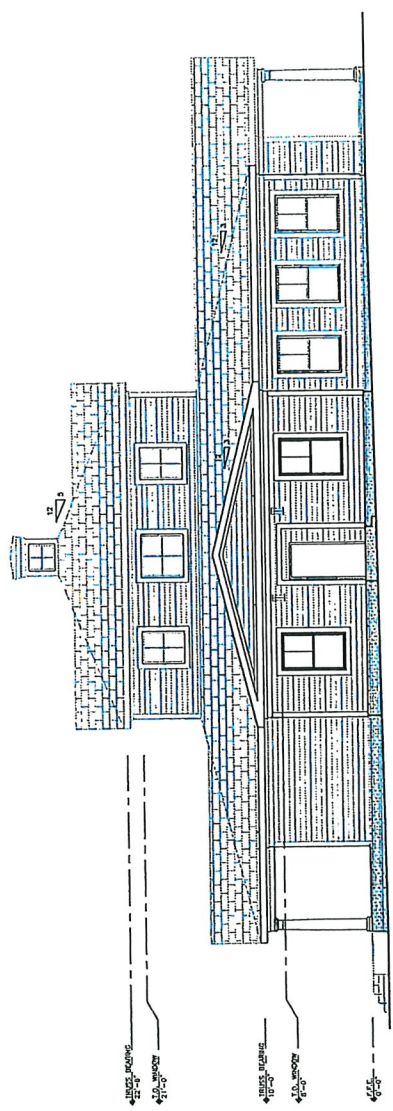
Scale:

EXTERIOR FINISH SCHEDULE	
FINISH	DESCRIPTION
STAINLESS STEEL	304
BRASS	Yellow
ALUMINUM	Mill Finish
PAINT	See Schedule
GLASS	See Schedule
ROOFING	See Schedule
EIFS	See Schedule
CONCRETE	See Schedule
WOOD	See Schedule
SPONGE RUBBER	See Schedule
INSULATION	See Schedule
MEMBRANE	See Schedule
ADHESIVE	See Schedule
FASTENERS	See Schedule
SEALANT	See Schedule
GROUT	See Schedule
REPAIR	See Schedule
OTHER	See Schedule

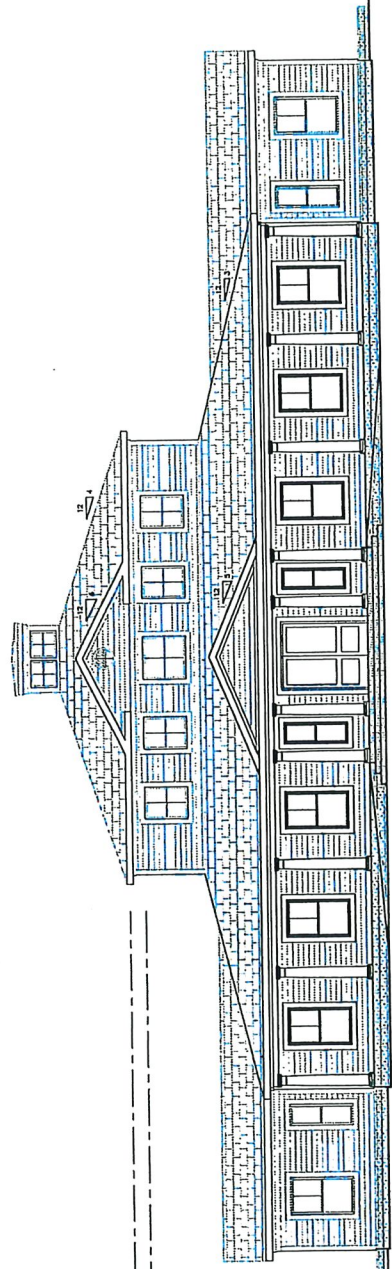
MARVIN VILLAGE  
 HALL  
 New Construction

8917 New Town Rd  
 Marvin, NC 28173

Date:	January 25, 2021
Project Number:	2020-06
Issued For:	xx.xx.20
Construction Only:	
EXTERIOR ELEVATIONS	
A2.2	
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02 ELEVATION: Left Side  
 3/16" = 1'-0"



01 ELEVATION: Rear (Parking Side)  
 3/16" = 1'-0"



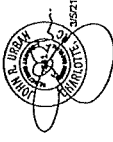








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1111 Main Street, Suite 220  
Charlotte, NC 28202  
704.372.7755  
www.urbanag.com



MARVIN VILLAGE  
HALL  
New Construction

10006 Marvin School Rd  
Marvin, NC 28173

Date:	March 5, 2021
Project Number:	2020-46
Revised For:	03.05.21
Construction Only:	
<b>COVER SHEET</b>	
<b>CV1</b>	
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# MARVIN VILLAGE HALL

## DESIGN PROFESSIONALS

**Civil:**  
DENVERBY ENGINEERS, INC.  
1275 Main Street, Suite 220  
Charlotte, North Carolina 28202  
704.350.5918  
www.denverby.com

**Architectural:**  
URBAN ARCHITECTURAL GROUP, P.A.  
1111 Main Street, Suite 220  
Charlotte, North Carolina 28202  
704.372.7755  
www.urbanag.com

**Structural:**  
ASTRUCT  
1524 Turner Boulevard  
Charlotte, North Carolina 28203  
704.507.3059  
www.astroct.com

**Plumbing, Mechanical, Electrical:**  
VISTAS PAPPAZ CONSULTING  
ENGINEERS, P.A.  
1111 Main Street, Suite 220  
Charlotte, North Carolina 28202  
704.372.7755  
www.vistas.com

**PROJECT DATA**  
PROJECT NAME: Marvin Village Hall  
PROJECT DESCRIPTION: 10006 Marvin School Rd  
PROJECT LOCATION: Marvin, NC 28173

SEE DVE FOR BUILDING CORE SUMMARY

**GENERAL NOTES:**  
GENERAL CONTRACTOR SHALL VERIFY THE SITE &/OR PRODUCE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND SHALL REPORT ALL DISCREPANCIES TO ARCHITECT.  
GENERAL CONTRACTOR SHALL CONSULT WITH ALL REGULATORY AGENCIES AND OBTAIN ALL NECESSARY PERMITS PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL REPORT ALL DISCREPANCIES TO ARCHITECT.  
NO WORK SHALL BE PERFORMED OR MATERIALS DELIVERED TO THE SITE WITHOUT FIRST HAVING AMBLE TIME TO REVIEW A COMPLETE SET OF PLANS. ANY WORK PERFORMED OR MATERIALS DELIVERED TO THE SITE WITHOUT FIRST HAVING AMBLE TIME TO REVIEW A COMPLETE SET OF PLANS WILL NOT BE ACCEPTED AS AN EXCUSE FOR DELAYS OR INCOMPLETE WORK OR CHANGE ORDERS.

IF DURING THE COURSE OF WORK THE GENERAL CONTRACTOR OR SUB CONTRACTORS DISCOVER A PROBLEM WITH THE PLANS AND SPECIFICATIONS &/OR A CONSULT BETWEEN DISCLOSES THE PROBLEM TO THE ARCHITECT IMMEDIATELY. THE GENERAL CONTRACTOR SHALL IMMEDIATELY BRING THE PROBLEM TO THE ARCHITECT'S ATTENTION PRIOR TO THE EXECUTION OF THE WORK.

SHOP DRAWINGS / SUBMITTALS: SEE SHEET SP1 SECTION 01 33 00

## INDEX OF DRAWINGS

Sheet #	Sheet Title	03/05/21	Revised For Construction Only
001	CONCRETE SUMMARY		
002	FOUNDATION PLAN		
003	ROOF FINISHING PLAN		
004	MECHANICAL SYSTEMS		
005	MECHANICAL SYSTEMS & LEGEND		
006	MECHANICAL SYSTEMS & LEGEND		
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**2018 APPENDIX B**  
**BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS**  
 (Cover 1 and 2 Family Dwellings and Tenancies)

Address: 10006 Marvin School Rd, Marvin, NC 28173  
 Project Name: Marvin Village Hall  
 Date of Issuance: 03/05/21

**GENERAL INFORMATION**

Project No. 2020-66  
 Issued For: Construction Copy  
 Construction Copy: 03/05/21

**PERMITS AND FEES**

Permit Fee: \$1,000  
 Plan Review Fee: \$1,000  
 Inspection Fee: \$1,000  
 Final Inspection Fee: \$1,000  
 Total Fees: \$4,000

**PROJECT DESCRIPTION**

Project: Marvin Village Hall  
 Location: 10006 Marvin School Rd, Marvin, NC 28173  
 Project Type: Commercial Building

**PERMITS AND FEES**

Permit Fee: \$1,000  
 Plan Review Fee: \$1,000  
 Inspection Fee: \$1,000  
 Final Inspection Fee: \$1,000  
 Total Fees: \$4,000

**PROJECT DESCRIPTION**

Project: Marvin Village Hall  
 Location: 10006 Marvin School Rd, Marvin, NC 28173  
 Project Type: Commercial Building

**2018 URBAN ARCHITECTURAL GROUP P.A.**  
 10006 Marvin School Rd  
 Marvin, NC 28173  
 Phone: 704.412.4400  
 Fax: 704.412.4401  
 Email: info@urbanarchitectural.com

**PERMITS AND FEES**

Permit Fee: \$1,000  
 Plan Review Fee: \$1,000  
 Inspection Fee: \$1,000  
 Final Inspection Fee: \$1,000  
 Total Fees: \$4,000

**PROJECT DESCRIPTION**

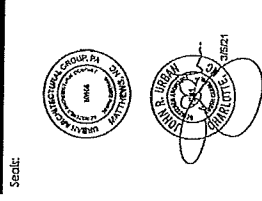
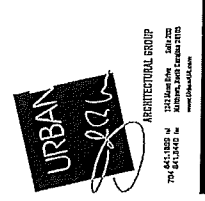
Project: Marvin Village Hall  
 Location: 10006 Marvin School Rd, Marvin, NC 28173  
 Project Type: Commercial Building

**PERMITS AND FEES**

Permit Fee: \$1,000  
 Plan Review Fee: \$1,000  
 Inspection Fee: \$1,000  
 Final Inspection Fee: \$1,000  
 Total Fees: \$4,000

**PROJECT DESCRIPTION**

Project: Marvin Village Hall  
 Location: 10006 Marvin School Rd, Marvin, NC 28173  
 Project Type: Commercial Building



**MARVIN VILLAGE HALL**  
 New Construction

10006 Marvin School Rd  
 Marvin, NC 28173

Date:	March 5, 2021
Project Number:	2020-66
Issued For:	Construction Copy
Construction Copy:	03/05/21

**BUILDING CODE SUMMARY**  
**CV2**









ARCHITECTURAL GROUP  
 1701 W. HARRIS BLVD.  
 SUITE 200  
 CHARLOTTE, NC 28203  
 www.urbanllc.com

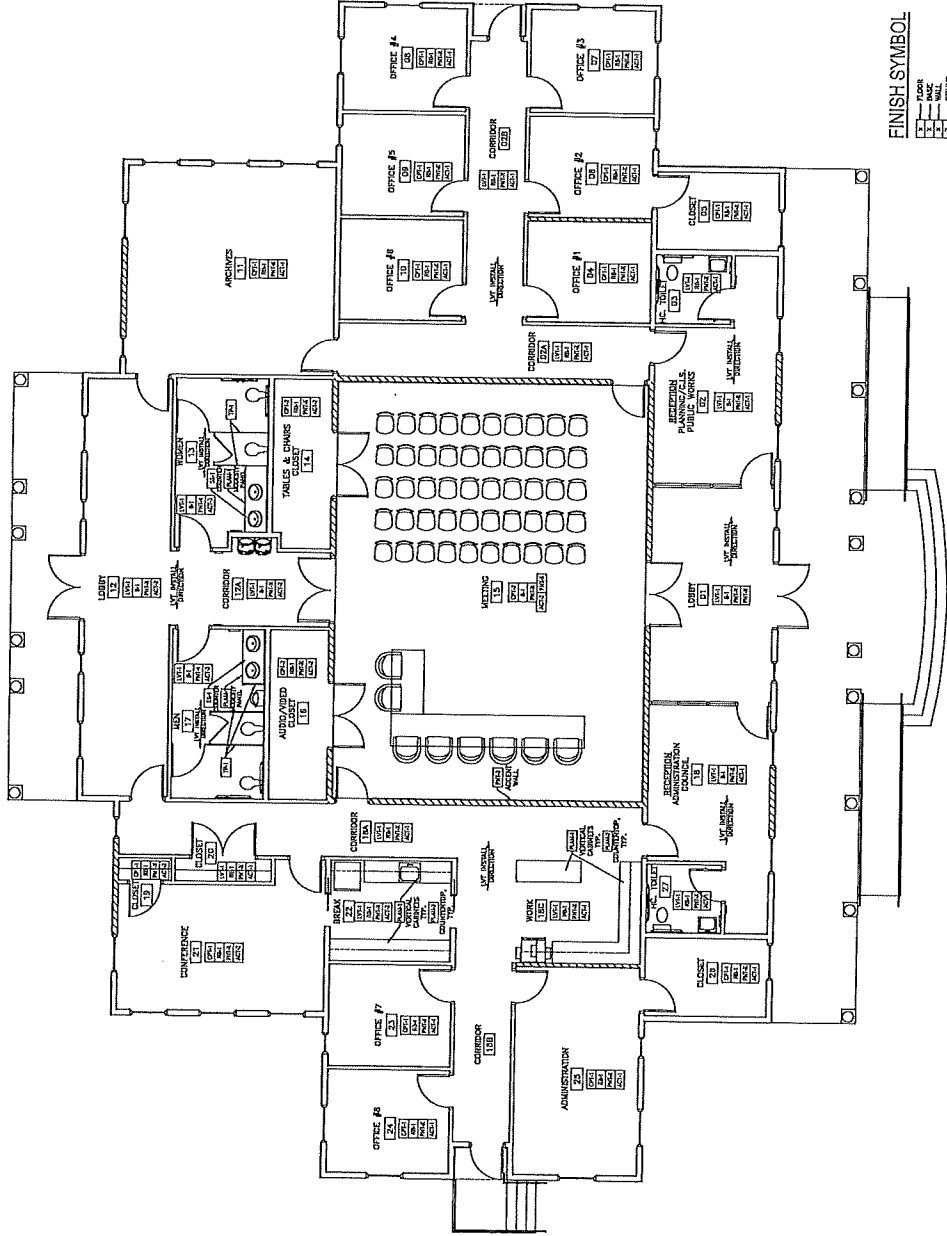
Scale:



**MARVIN VILLAGE  
 HALL**  
 New Construction

10006 Marvin School Rd  
 Marvin, NC 28173

Date:	March 5, 2021
Project Number:	2020-66
Issued For:	
Construction Order:	03.05.21
<b>FINISH FLOOR PLAN</b>	
<b>A10.1</b>	
© 2021 URBAN ARCHITECTURAL GROUP P.A. <small>Project: Marvin Village New Construction</small>	







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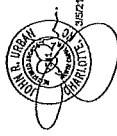






ARCHITECTURAL GROUP  
 10006 MARVIN SCHOOL RD  
 MARVIN, NC 28173  
 PHONE: 704.246.1100  
 FAX: 704.246.1101  
 WWW.URBANAG.COM

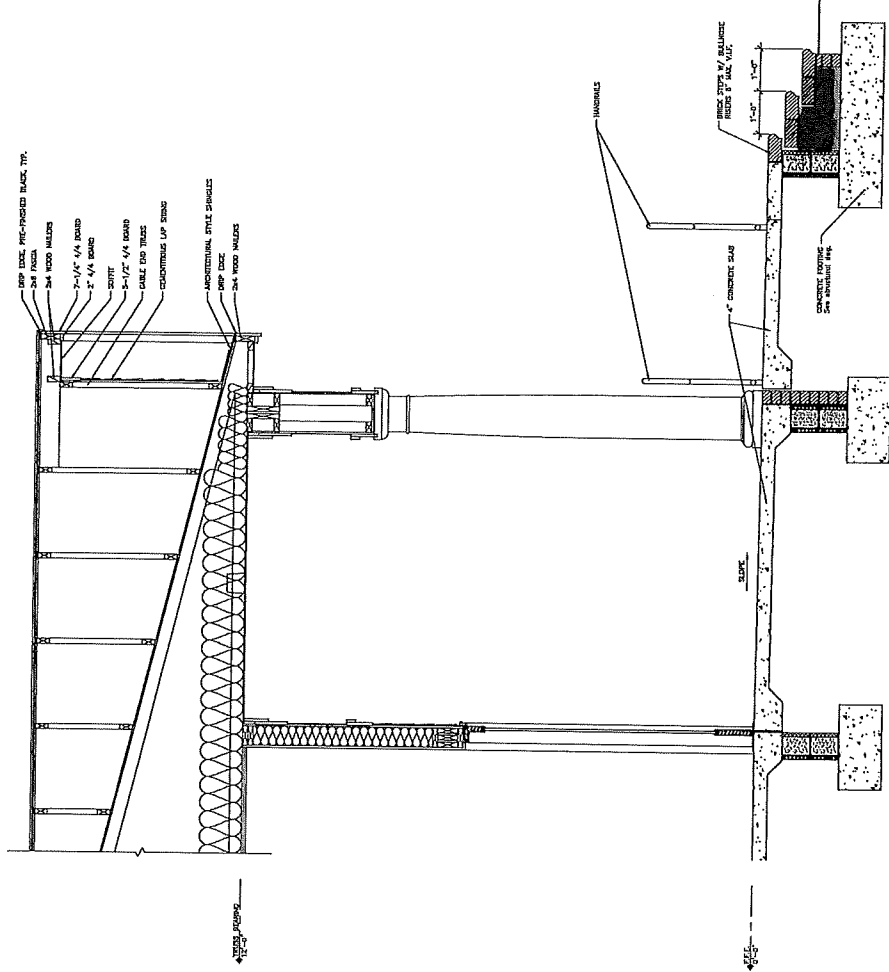
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**MARVIN VILLAGE  
 HALL**  
 New Construction

10006 Marvin School Rd  
 Marvin, NC 28173

Date:	March 5, 2021
Project Number:	2020-46
Issued For:	
Construction City:	03/05/21
<b>WALL SECTIONS</b>	
<b>A4.2</b>	
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**01 WALL SECTION: Porch @ Steps**  
 3/4" = 1'-0"

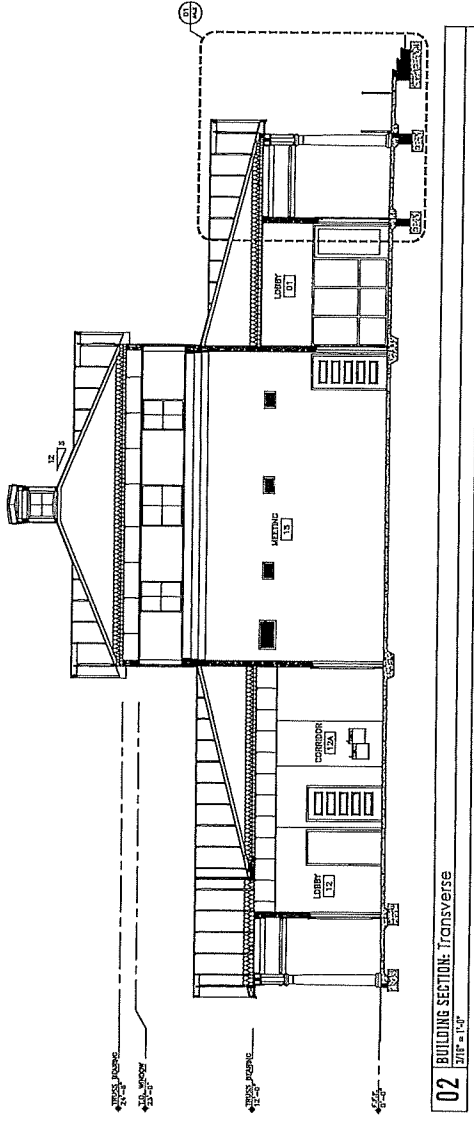
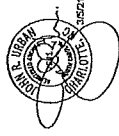




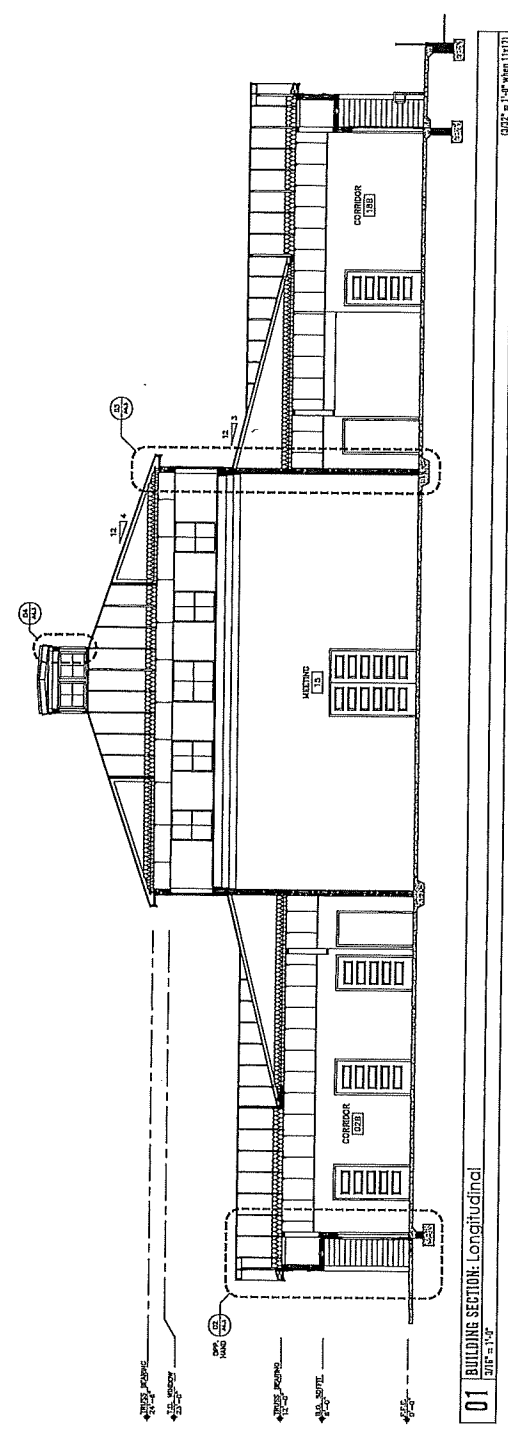


ARCHITECTURAL GROUP  
 1551 HICKORY CHASE  
 204 SHELBY BLVD  
 MORRISVILLE, NC 27556  
 TEL: 703.240.4400 FAX: 703.240.4401  
 WWW.URBANARCHITECT.COM

SECRET



02 BUILDING SECTION: Transverse  
 2 1/8" = 1'-0"



01 BUILDING SECTION: Longitudinal  
 2 1/8" = 1'-0"

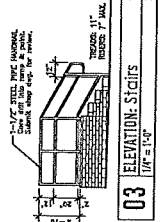
MARVIN VILLAGE  
 HALL  
 New Construction

10006 Marvin School Rd  
 Marvin, NC 28173

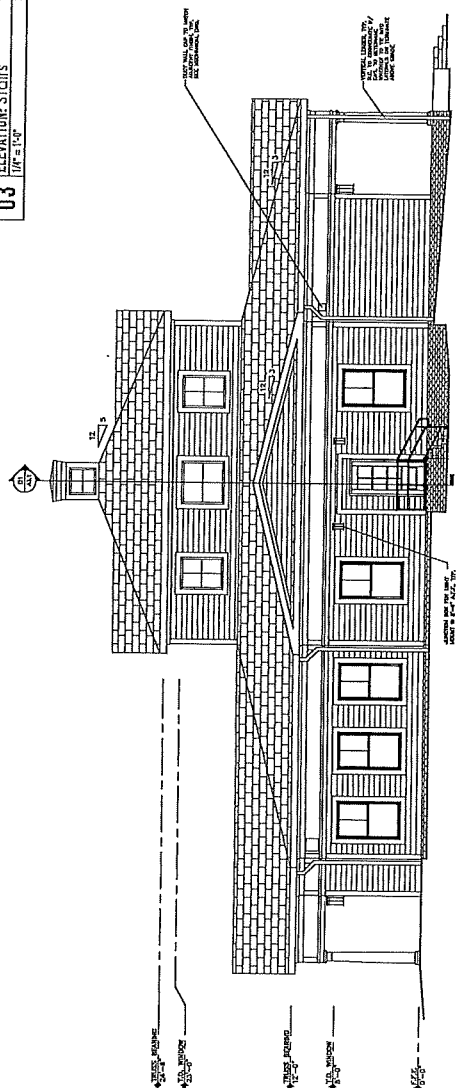
Date:	March 5, 2021
Project Number:	2002-46
Issued For:	Construction OHP
Construction OHP:	03.05.21
BUILDING SECTIONS	
<b>A3.1</b>	
© 2021 URBAN ARCHITECTURAL GROUP P.A. <small>1551 Hickory Chase, Morrisville, NC 27556</small>	



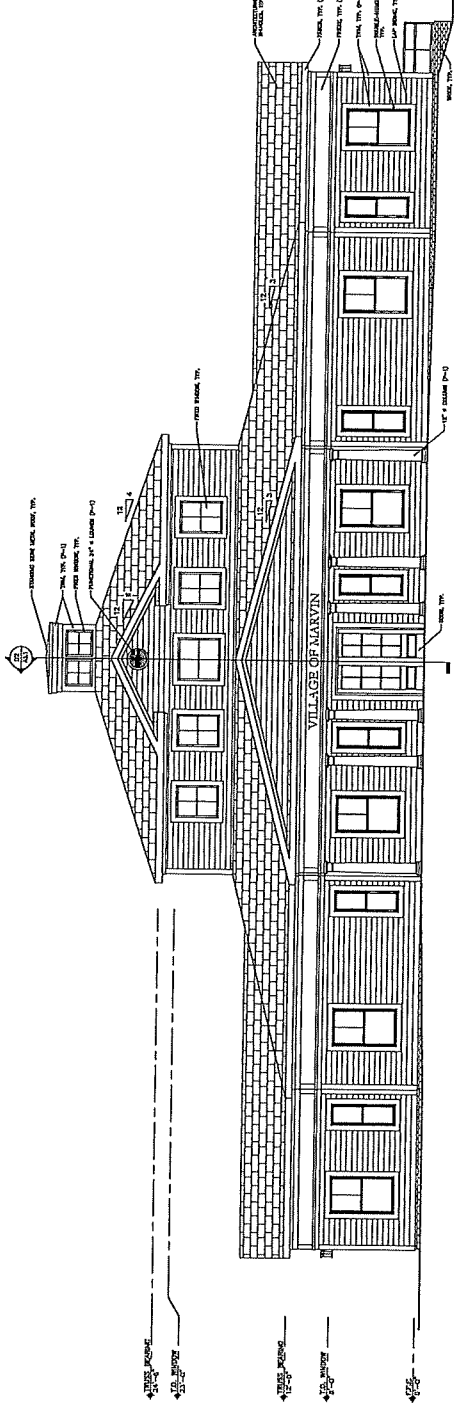
EXTERIOR FINISH SCHEDULE			
FINISH	MANUFACTURER	MANUFACTURER	MANUFACTURER
Roof	Asph/Flt Shingles	Timberline	Timberline
Walls	1/2" Gypsum Board	USG	USG
Windows & Doors	1/2" Gypsum Board	USG	USG
Trim	1/2" Gypsum Board	USG	USG
Paint	1/2" Gypsum Board	USG	USG
Roofing	Asph/Flt Shingles	Timberline	Timberline
Foundation	1/2" Gypsum Board	USG	USG
Interior	1/2" Gypsum Board	USG	USG
Exterior	1/2" Gypsum Board	USG	USG
Roofing	Asph/Flt Shingles	Timberline	Timberline
Foundation	1/2" Gypsum Board	USG	USG
Interior	1/2" Gypsum Board	USG	USG
Exterior	1/2" Gypsum Board	USG	USG



03 ELEVATION: Stairs  
1/16" = 1'-0"



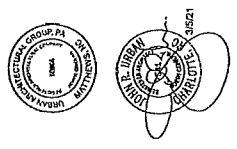
02 ELEVATION: Right Side  
1/16" = 1'-0"



01 ELEVATION: Front (Street Side)  
1/16" = 1'-0"



SCALE:



MARVIN VILLAGE HALL  
New Construction

10006 Marvin School Rd  
Marvin, NC 28753

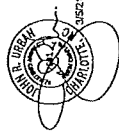
Date:	March 5, 2021
Project Number:	2020-46
Issued For:	
Construction Only:	03.05.21
EXTERIOR ELEVATIONS	
<b>A2.1</b>	
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ARCHITECTURAL GROUP  
 1123 Main St. 3rd Fl.  
 441.229.4400  
 1200 W. 10th St. Suite 1100  
 Charlotte, NC 28202

Scale:



MARVIN VILLAGE  
 HALL  
 New Construction

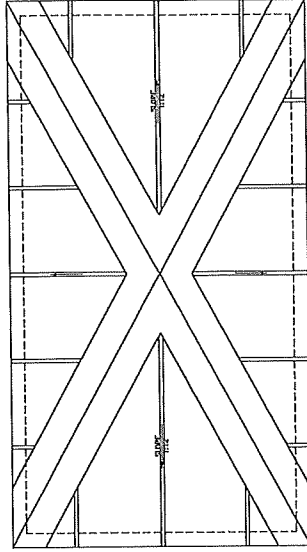
10006 Marvin School Rd  
 Marvin, NC 28173

Date: March 5, 2021  
 Project Number: 2020046  
 Issued For:  
 Construction Only: 03.05.21

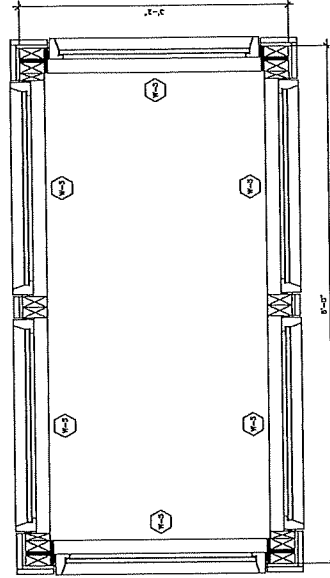
ROOF DETAILS

A1.4

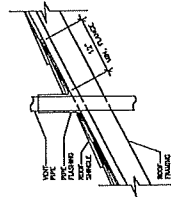
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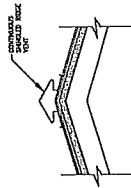
02 ROOF DETAIL  
 1/4" = 1'-0"



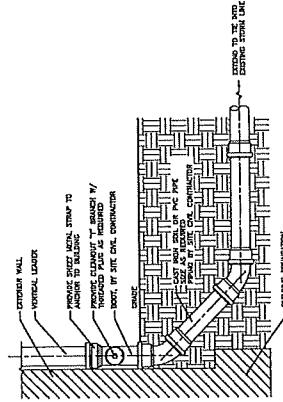
01 ROOF DETAIL  
 1/4" = 1'-0"



05 DETAIL: Pipe Penetration  
 1" = 1'-0"



04 DETAIL: Ridge Vent  
 1/4" = 1'-0"



03 DETAIL: Vertical Leader Boot  
 1" = 1'-0"









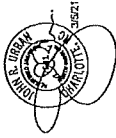






ARCHITECTURAL GROUP  
1312 Main Drive, Suite 200  
274 841-1899 or 274-841-1822  
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Section



MARVIN VILLAGE  
HALL  
New Construction

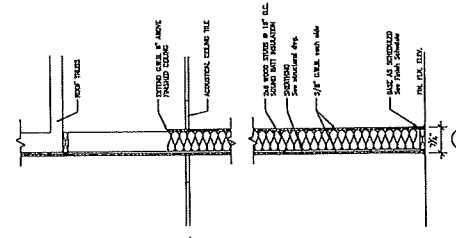
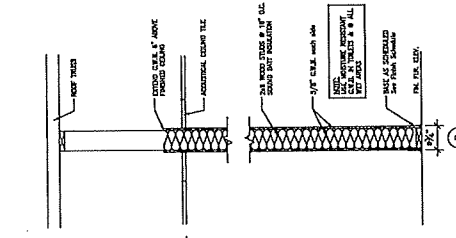
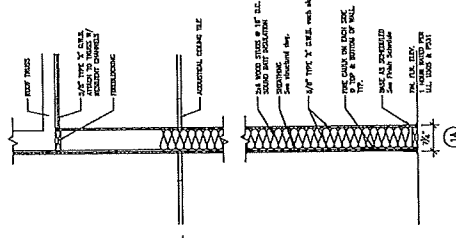
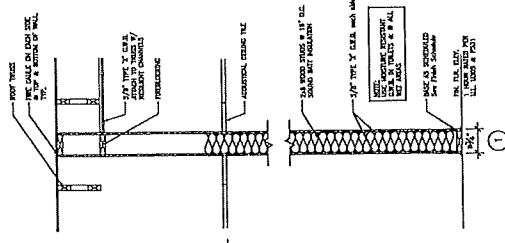
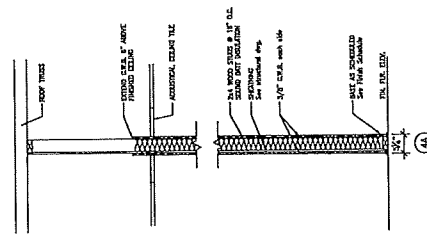
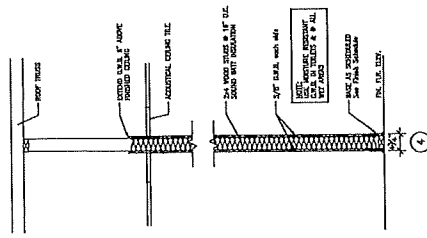
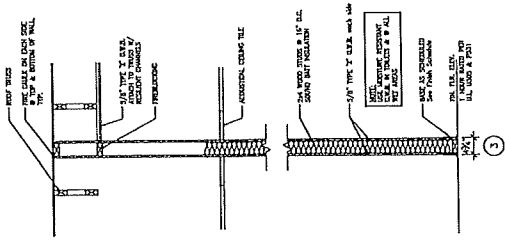
10006 Marvin School Rd  
Marvin, NC 28173

Date: March 5, 2021  
Project Number: 2020-46  
Issued For:  
Construction Only: 03.05.21

PARTITION TYPES

AO.2

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1 PARTITION TYPES

1/4" = 1'-0"







ARCHITECTURAL GROUP  
1118 Main Street  
Durham, NC 27603  
704-241-1222  
www.urbanarch.com

Scale:



**MARVIN VILLAGE HALL**  
New Construction

10006 Marvin School Rd  
Morris, NC 28173

Date:	March 5, 2023
Project Number:	2023-46
Drawn For:	03/25/23
Contributed Only:	
<b>SPECIFICATIONS</b>	
<b>SP1</b>	
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**04 22 00 CONCRETE UNIT MASONRY**

**SECTION INCLUDES:**

1. Masonry
2. Mortar
3. Formwork
4. Reinforcement
5. Cast-in-place concrete
6. Expansion joints
7. Control joints
8. Sealant
9. Accessories
10. Finishes
11. Painting
12. Cleaning
13. Protection
14. Removal
15. Repair
16. Replacement
17. Patching
18. Grouting
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**04 21 13 BRICK MASONRY**

**SECTION INCLUDES:**

1. Masonry
2. Mortar
3. Formwork
4. Reinforcement
5. Cast-in-place concrete
6. Expansion joints
7. Control joints
8. Sealant
9. Accessories
10. Finishes
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12. Cleaning
13. Protection
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**04 05 13 MASONRY MORTAR**

**SECTION INCLUDES:**

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**04 05 23 MASONRY ACCESSORIES**

**SECTION INCLUDES:**

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**04 22 00 CONCRETE UNIT MASONRY**

**SECTION INCLUDES:**

1. Masonry
2. Mortar
3. Formwork
4. Reinforcement
5. Cast-in-place concrete
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**04 21 13 BRICK MASONRY**

**SECTION INCLUDES:**

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**04 05 13 MASONRY MORTAR**

**SECTION INCLUDES:**

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**04 05 23 MASONRY ACCESSORIES**

**SECTION INCLUDES:**

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05 50 00 METAL FABRICATIONS

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05 50 00 METAL FABRICATIONS
05 50 00 METAL FABRICATIONS

06 10 00 ROUGH CARPENTRY

- 06 10 00 ROUGH CARPENTRY
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06 11 00 WOOD FRAMING

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07 10 00 WATER REPELLENTS

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07 13 00 BITUMINOUS DAMPROOFING

- 07 13 00 BITUMINOUS DAMPROOFING
07 13 00 BITUMINOUS DAMPROOFING
07 13 00 BITUMINOUS DAMPROOFING
07 13 00 BITUMINOUS DAMPROOFING
07 13 00 BITUMINOUS DAMPROOFING

07 19 00 SHEET MEMBRANE WATERPROOFING

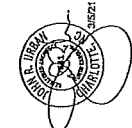
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07 21 00 THERMAL INSULATION

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ARCHITECTURAL GROUP
103 Union Ave. Suite 200
704 WILKINSON BLVD.
Raleigh, NC 27603-2111
www.urbanarchitect.com



MARVIN VILLAGE
HALL
New Construction

10006 Marvin Village School Rd
Marvin, NC 28773

Table with project details: Date: March 5, 2021; Project Number: 2020-56; Construction Only: 04.05.21; Specifications: SP2

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05 50 00 METAL FABRICATIONS
05 50 00 METAL FABRICATIONS

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08 00 SYSTEMS

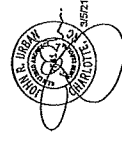
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08 00 SYSTEMS







SCALE:



MARVIN VILLAGE HALL New Construction

10006 Marvin School Rd Marvin, NC 28173

Date: March 5, 2021 Project Number: 2020-46 Issued For: Construction Only: 03.05.21

SPECIFICATIONS

SP4

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08 11 13 HOLLOW METAL DOORS AND STOREFRONTS

1.1. SUMMARY

- 1. Section Includes: Hollow metal doors and storefronts, as specified, and hardware, as specified.

- 2. Related Sections: A. Millwork B. Glass C. Hardware

1.2. REFERENCES

- A. National Fire Protection Association (NFPA): NFPA 101: Life Safety Code, 2020 Edition

1.3. NOTES

- 1. All doors and storefronts shall be constructed in accordance with the requirements of NFPA 101, Life Safety Code, 2020 Edition, and shall be tested and certified in accordance with NFPA 101, Life Safety Code, 2020 Edition, and shall be tested and certified in accordance with NFPA 101, Life Safety Code, 2020 Edition.

08 11 13 HOLLOW METAL DOORS AND STOREFRONTS

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08 11 13 HOLLOW METAL DOORS AND STOREFRONTS

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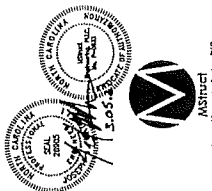
1.3. NOTES

- 1. All doors and storefronts shall be constructed in accordance with the requirements of NFPA 101, Life Safety Code, 2020 Edition, and shall be tested and certified in accordance with NFPA 101, Life Safety Code, 2020 Edition.



ARCHITECTURAL GROUP  
 790 S. HARRIS ST. SUITE 200  
 RICHMOND, VA 23261  
 TEL: 804-773-1100  
 FAX: 804-773-1100

Scale:



MASTRETT  
 305 N. HARRIS ST. SUITE 200  
 RICHMOND, VA 23261  
 TEL: 804-773-1100  
 FAX: 804-773-1100

# MARYIN VILLAGE HALL New Construction

10006 Marvin School Rd  
 Martinsville, NC 28173

Date: 2/28/14  
 Project Number: 200640  
 Issued For: 034521  
 Connection Date:

GENERAL NOTES

S0.1

8000 S. HARRIS ST. SUITE 200  
 RICHMOND, VA 23261

1. THE MASONRY CONTRACTORS SHALL PROVIDE ALL REQUIRED TEMPORARY BRACING DURING CONSTRUCTION.
2. THE MASONRY CONTRACTORS SHALL VERIFY ALL REQUIRED TEMPORARY BRACING DURING CONSTRUCTION. BRACING SHALL BE INSTALLED IN ACCORDANCE WITH TABLE 1.1.1.3 OF A.C.I. 305.4. THE MASONRY CONTRACTORS SHALL VERIFY THAT THE BRACING FACILITIES SHALL COMPLY WITH TABLE 1.1.1.3 OF A.C.I. 305.4.
3. THE MASONRY CONTRACTORS SHALL VERIFY THAT THE BRACING FACILITIES SHALL COMPLY WITH TABLE 1.1.1.3 OF A.C.I. 305.4.
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9. THE MASONRY CONTRACTORS SHALL VERIFY THAT THE BRACING FACILITIES SHALL COMPLY WITH TABLE 1.1.1.3 OF A.C.I. 305.4.
10. THE MASONRY CONTRACTORS SHALL VERIFY THAT THE BRACING FACILITIES SHALL COMPLY WITH TABLE 1.1.1.3 OF A.C.I. 305.4.

28-DAY COMPRESSIVE STRENGTH (FCI)	28-DAY TENSILE STRENGTH (FCT)	28-DAY ELONGATION (INCHES)
3000	150	1.20
3600	180	1.20
4200	210	1.20
4800	240	1.20
5400	270	1.20



ARCHITECTURAL GROUP  
 1125 Main Street, Suite 202  
 704-444-1125  
 www.urbandesign.com



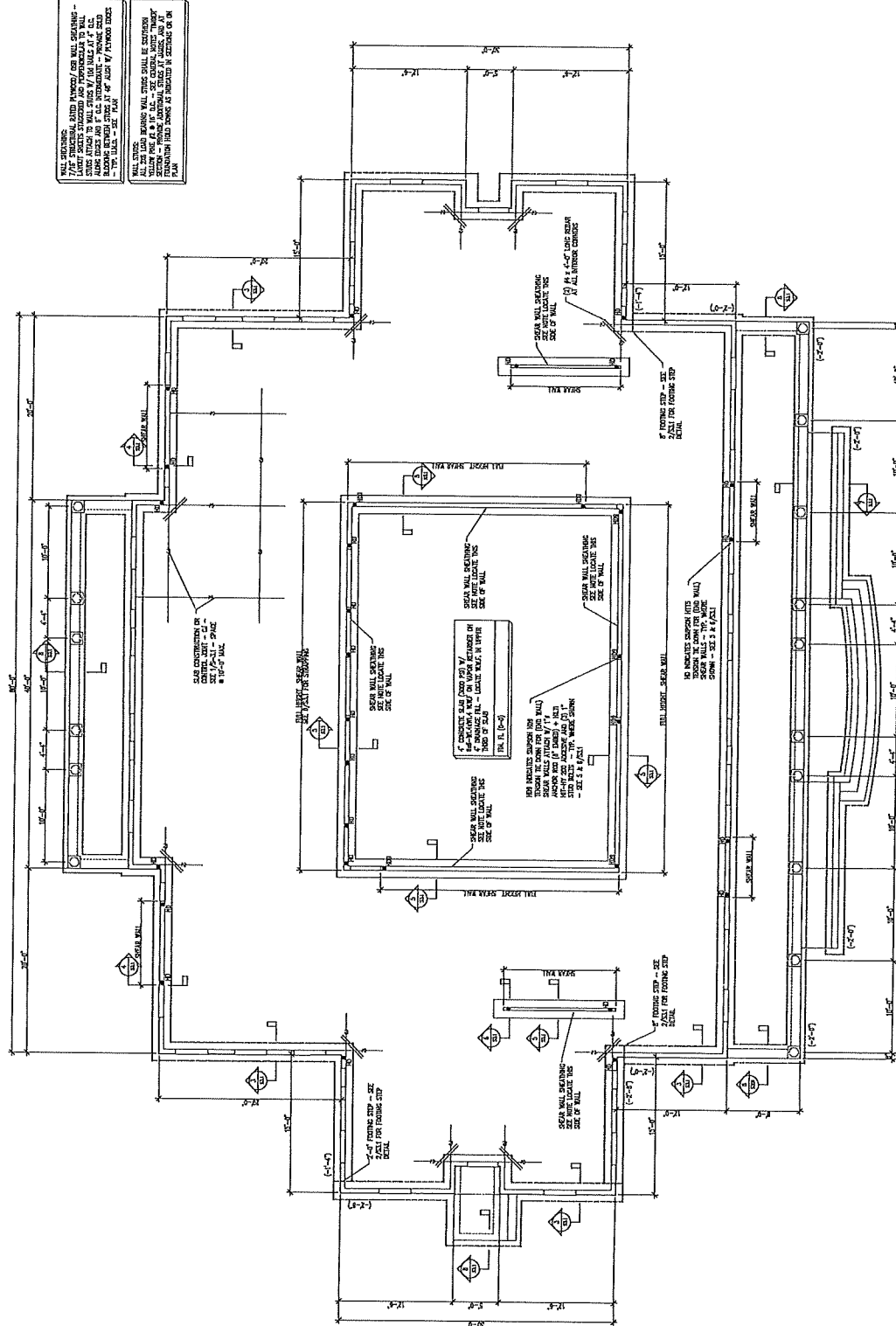
**AS/STRUCT**  
 Division of Engineering/Architecture  
 1121 North Main Street  
 Charlotte, NC 28202  
 Tel: 352.229.9797  
 Fax: 352.229.1071

**MARVIN VILLAGE HALL**  
 New Construction

10006 Marvin School Rd  
 Marvin, NC 28173

Date:	2020.48
Project Number:	2020.48
Budget Est.:	10/15/21
Construction Date:	

FOUNDATION PLAN	
<b>\$1.1</b>	
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ALL REINFORCING SHALL BE #4 UNLESS OTHERWISE NOTED.  
 ALL REINFORCING SHALL BE PLACED AS SHOWN IN SECTION OR ON PLAN.  
 ALL REINFORCING SHALL BE PLACED AS SHOWN IN SECTION OR ON PLAN.  
 ALL REINFORCING SHALL BE PLACED AS SHOWN IN SECTION OR ON PLAN.

**FOUNDATION PLAN AND FLOOR SLAB PLAN**  
 SCALE: 3/8" = 1'-0"

- NOTES:
1. TOP OF FINISHING - T.O.F. (1) INTERLOCK FROM FIN. FL. (0-0).
  2. REINFORCING SHALL BE 1/2" DIA. @ 12" O.C. WITH 1/4" DIA. @ 12" O.C. IN PERPENDICULAR DIRECTION.
  3. REINFORCING SHALL BE 1/2" DIA. @ 12" O.C. WITH 1/4" DIA. @ 12" O.C. IN PERPENDICULAR DIRECTION.
  4. SEE SHEET S.1.1 FOR OTHER NOTES.



ARCHITECTURAL GROUP  
111 Main Street, Suite 200  
Charlotte, NC 28202  
704.343.1410  
www.urbanarchitect.com

Scale:



ARCHITECT  
Project: Marvin Village Hall  
111 Main Street, Suite 200  
Charlotte, NC 28202  
www.urbanarchitect.com  
Approved: JAMES T. PATE

MARVIN VILLAGE HALL  
New Construction

10006 Marvin School Rd  
Marvin, NC 28173

Date:	2006.04
Project Number:	2006.04
Issued For:	03.03.01
Construction Date:	
<b>S2.1</b>	
ROOF FRAMING PLAN	
SCALE: 1/4" = 1'-0"	
DATE: 11-15-05	

**NOTE:**  
ALL MATERIALS (SHEATHING, TRUSSES, JOISTS) SHALL BE APPROVED BY THE ARCHITECT AND SHOWN ON THE TRUSS AND JOIST LAYOUTS. TRUSSES AND JOISTS SHALL BE APPROVED BY THE ARCHITECT AND SHOWN ON THE TRUSS AND JOIST LAYOUTS.

**NOTE:**  
ALL TRUSSES SHALL BE APPROVED BY THE ARCHITECT AND SHOWN ON THE TRUSS AND JOIST LAYOUTS. TRUSSES AND JOISTS SHALL BE APPROVED BY THE ARCHITECT AND SHOWN ON THE TRUSS AND JOIST LAYOUTS.

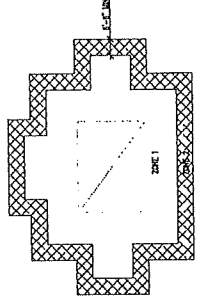
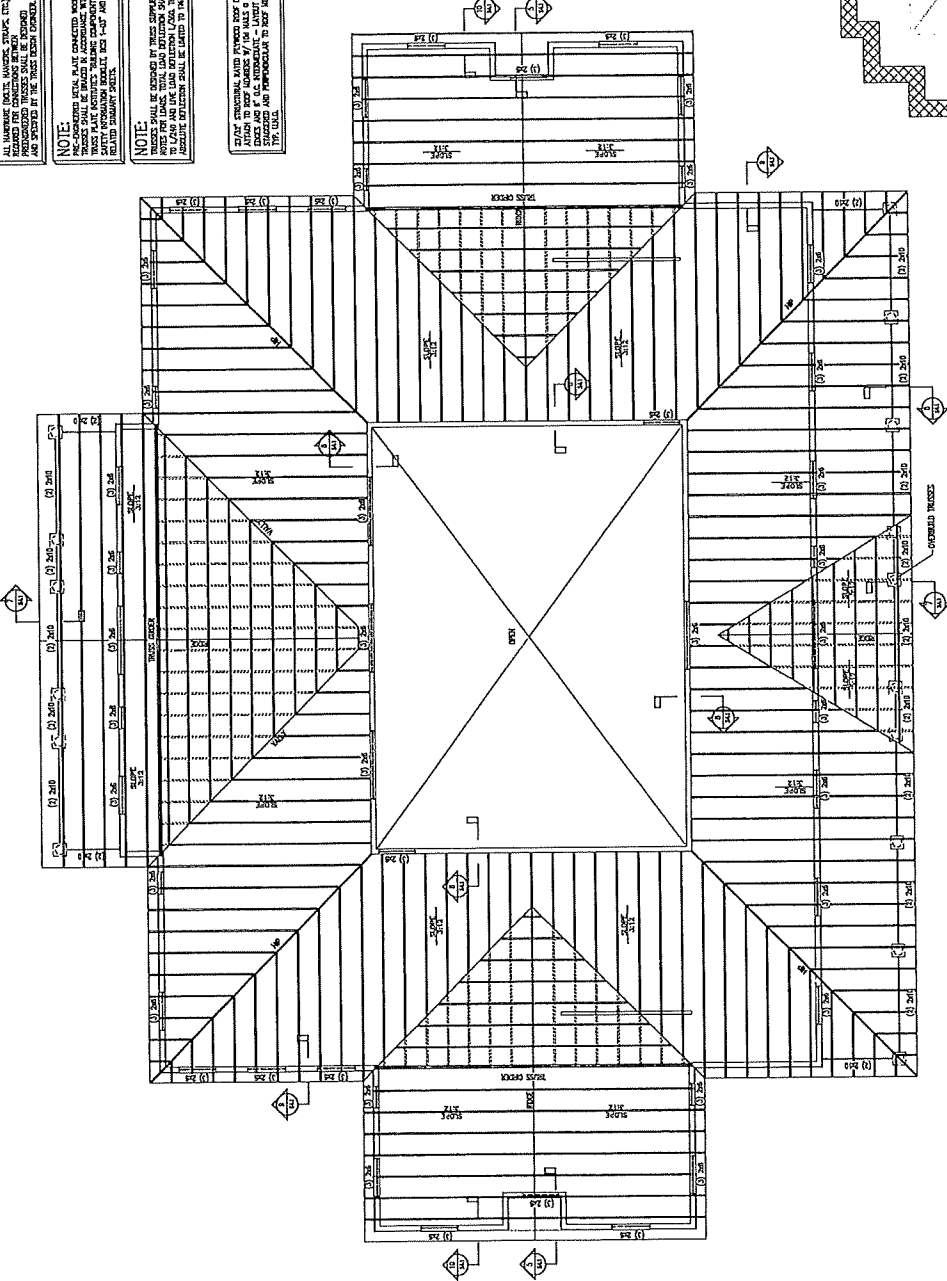
**NOTE:**  
ALL TRUSSES SHALL BE APPROVED BY THE ARCHITECT AND SHOWN ON THE TRUSS AND JOIST LAYOUTS. TRUSSES AND JOISTS SHALL BE APPROVED BY THE ARCHITECT AND SHOWN ON THE TRUSS AND JOIST LAYOUTS.

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**2X SAWN LUMBER HEADER:**  
ALL TRUSSES SHALL BE APPROVED BY THE ARCHITECT AND SHOWN ON THE TRUSS AND JOIST LAYOUTS. TRUSSES AND JOISTS SHALL BE APPROVED BY THE ARCHITECT AND SHOWN ON THE TRUSS AND JOIST LAYOUTS.

**GANG STUD NOTE:**  
ALL TRUSSES SHALL BE APPROVED BY THE ARCHITECT AND SHOWN ON THE TRUSS AND JOIST LAYOUTS. TRUSSES AND JOISTS SHALL BE APPROVED BY THE ARCHITECT AND SHOWN ON THE TRUSS AND JOIST LAYOUTS.



**2 ROOF NET UPLIFT PLAN**  
SCALE: 1/4" = 1'-0"  
DATE: 11-15-05

**1 ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

- NOTES:
- ALL CONDITIONS REFERENCED FROM FIN. PL. (0-0).
  - TRUSS BEARING - (114-0) A.P.F. APPROX. 200'. ALL LUMBER BEARING WALLS SHALL BE APPROVED BY THE ARCHITECT AND SHOWN ON THE TRUSS AND JOIST LAYOUTS.
  - SEE SHEET S2.1 FOR JOIST LAYOUTS.
  - PROVIDE (2) 1/2" x 1/2" STUDS AND ONE EACH STUD AT OPENINGS - 1/2".

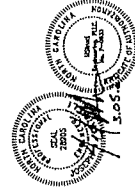






ARCHITECTURAL GROUP  
 1123 Main St. Suite 200  
 Asheville, NC 28801  
 Phone: 828.252.1123  
 Fax: 828.252.1124

Scale:

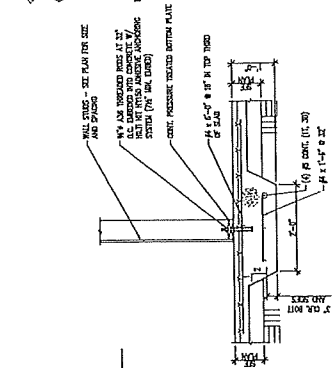


MASTRUCT  
 Structural Engineering & Architecture  
 321 North Main  
 Asheville, NC 28801  
 Phone: 828.252.1123  
 Fax: 828.252.1124

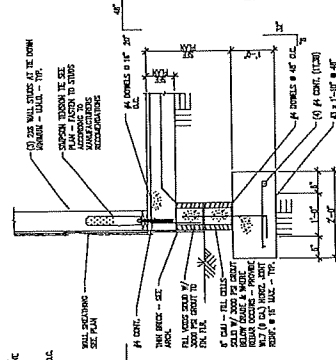
**MARVIN VILLAGE  
 HALL  
 New Construction**

10004 Marvin School Rd  
 Marvin, NC 28173

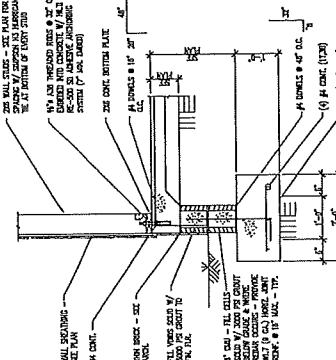
Date:	2024.4
Project Number:	2024.4
Issued For:	03.03.21
Construction Date:	
<b>FOUNDATIONS SECTIONS</b>	
<b>S3.1</b>	
<small>© 2024 URBAN ARCHITECTURAL GROUP        ALL RIGHTS RESERVED</small>	



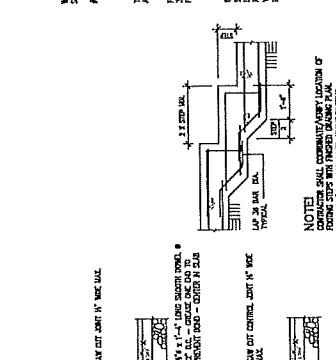
4 SECTION AT EXTERIOR WALL  
 Scale: 3/8" = 1'-0"



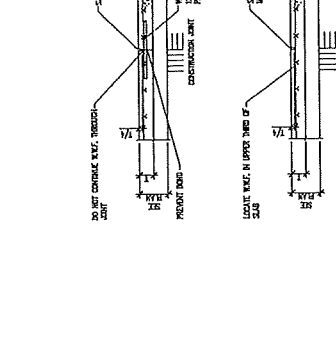
5 SECTION AT INTERIOR WALL  
 Scale: 3/8" = 1'-0"



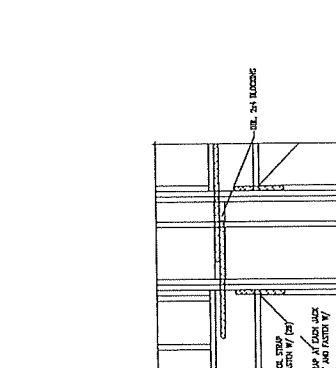
6 SECTION AT INTERIOR BEARWALL  
 Scale: 3/8" = 1'-0"



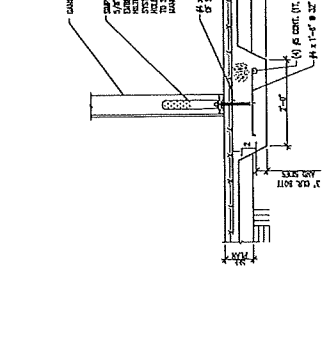
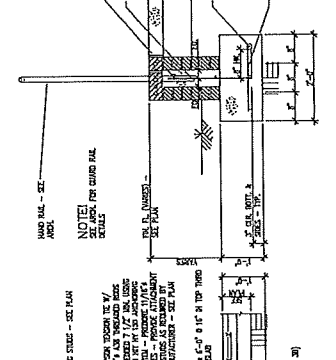
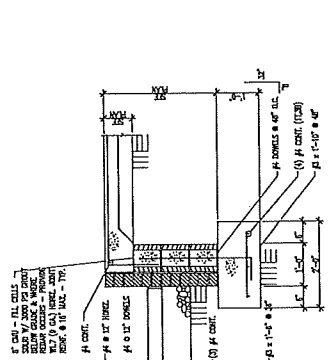
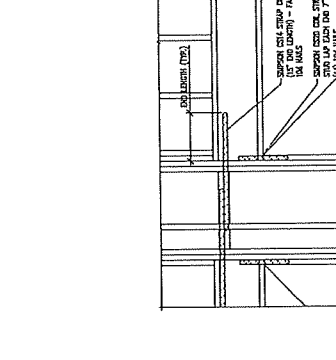
7 SECTION AT RAMP  
 Scale: 3/8" = 1'-0"



8 SECTION AT PORCH  
 Scale: 3/8" = 1'-0"



9 TYPICAL REFORCED SHEAR WALL ELEVATION  
 Scale: 3/8" = 1'-0"



10 TYPICAL REFORCED SHEAR WALL ELEVATION  
 Scale: 3/8" = 1'-0"

NOTE:  
 CONTRACTOR SHALL VERIFY THE LOCATION OF  
 ALL WALLS AND FOUNDATIONS TO BE  
 CONSTRUCTED TO MATCH THE FOUNDATION  
 PLAN. IF ANY DISCREPANCIES ARE FOUND,  
 NOTIFY ARCHITECT IMMEDIATELY.

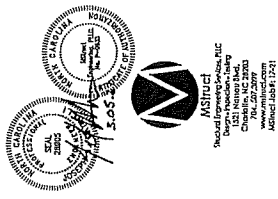
NOTE:  
 SEE PLAN FOR FOUNDATION  
 DETAIL.

NOTE:  
 SEE PLAN FOR FOUNDATION  
 DETAIL.

NOTE:  
 SEE PLAN FOR FOUNDATION  
 DETAIL.



**ARCHITECTURAL GROUP**  
 704 W. 11th Street, Suite 100  
 Winston-Salem, NC 27102  
 Tel: 703.744.1234  
 Fax: 703.744.1234  
 www.urbanarch.com

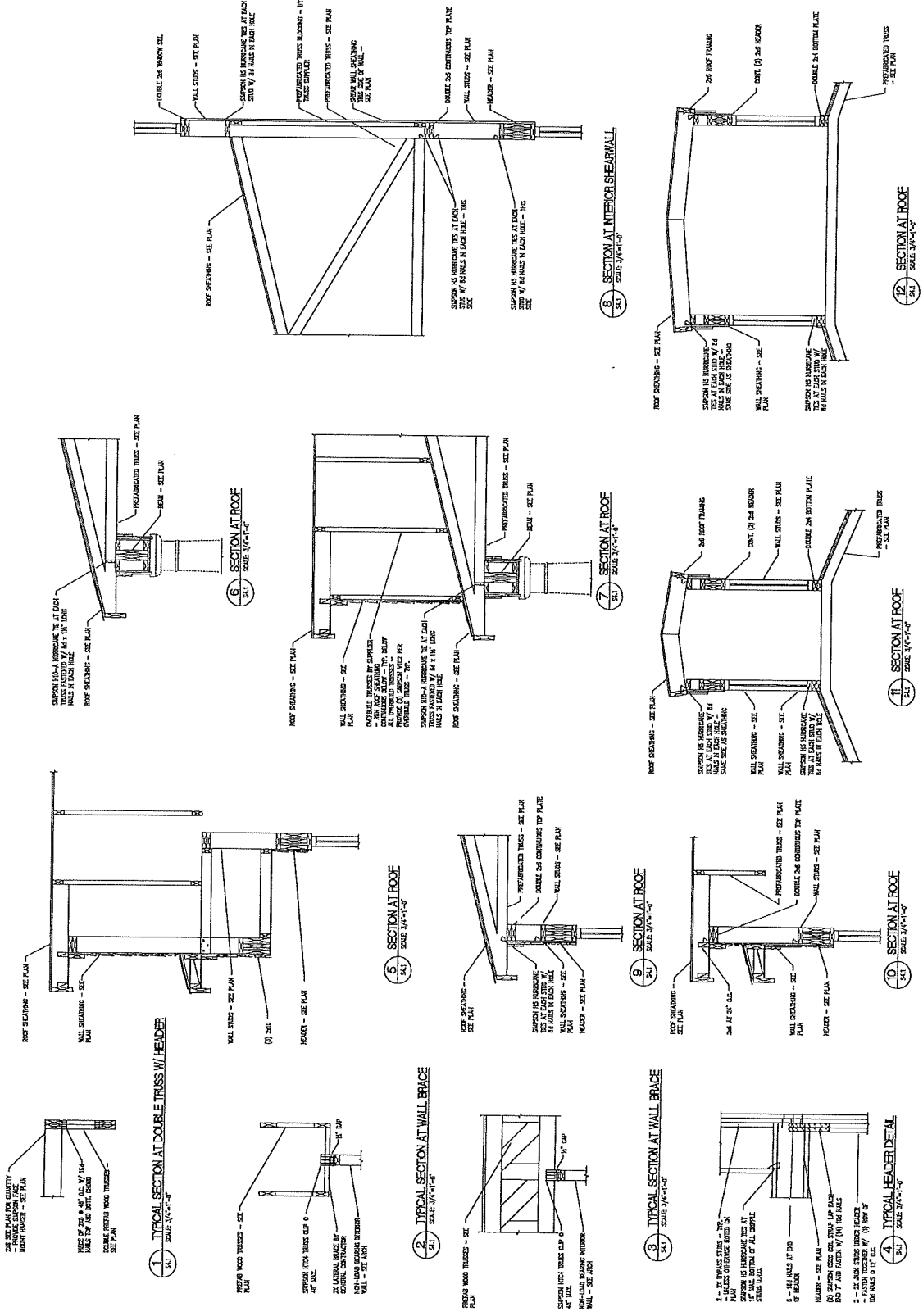


**MASTRUCT**  
 Structural  
 1021 North Blvd.  
 Cary, NC 27513  
 Tel: 919.279.9797  
 Fax: 919.279.9797  
 Micensed 1/28/81 17471

**MARVIN VILLAGE HALL**  
 New Construction

10006 Marvin School Rd  
 Marvin, NC 28173

Date:	2008-04
Project Number:	024.01
Issued For:	024.01
Contractor:	024.01
<b>ROOF FRAMING SECTIONS</b>	
<b>S4.1</b>	
<small>© 2008 URBAN ARCHITECTURAL GROUP</small>	



SEE SEE PLAN FOR QUANTITY  
 - PROVIDE CORONA NAILS  
 - 10D GALV. SHANKS - SEE PLAN

ROOF OF 2X8 @ 48" O.C. ALL W/ 1/4"  
 BRACK TOP AND BOTTOM CHAINS  
 DOUBLE PERFORA WOOD TRUSSES -  
 SEE PLAN

PROVIDE WOOD TRUSSES - SEE  
 PLAN

SECTION WITH TRUSS CLIP @  
 48" O.C.

2X LATERAL BRACE BY  
 CENTRAL CONTRACTOR  
 NON-LOAD BEARING INTERIOR  
 WALL - SEE ARCH

PROVIDE WOOD TRUSSES - SEE  
 PLAN

CORONA NAILS TRUSS CLIP @ 48"  
 O.C. WALL

NON-LOAD BEARING INTERIOR  
 WALL - SEE ARCH

1 - SEE PERFORA TRUSS - SEE  
 PLAN - PROVIDE CORONA NAIL ON  
 INSIDE SURFACE TO BE AT  
 1/4" WALL BOTTOM OF ALL CORONA  
 TRUSS NAILS

2 - 2X ALUM. STUDS UNDER ROOFER  
 DO NOT PROVIDE W/ (1) ROW OF  
 10D NAILS @ 24" O.C.

3 - 16D NAILS AT END  
 OF HEADER

4 - CORONA NAIL TRUSS CLIP @  
 48" O.C. WALL

5 - 2X ALUM. STUDS UNDER ROOFER  
 DO NOT PROVIDE W/ (1) ROW OF  
 10D NAILS @ 24" O.C.

DOUBLE 2X6 WINDY O.C.  
 WALL STUDS - SEE PLAN

CORONA NAILS BRACKETS AT EACH  
 END W/ 16 NAILS IN EACH HOLE  
 SEE PLAN

PERFORATED TRUSS BRACKETS - BY  
 TRUSS SUPPLIER

PERFORATED TRUSS - SEE PLAN

DOUBLE 2X6 CONTINUOUS TOP PLATE  
 WALL STUDS - SEE PLAN

HEADER - SEE PLAN

SECTION WITH TRUSS CLIP @ 48"  
 O.C. WALL

NON-LOAD BEARING INTERIOR  
 WALL - SEE ARCH

DOUBLE 2X6 CONTINUOUS TOP PLATE  
 WALL STUDS - SEE PLAN

HEADER - SEE PLAN

CORONA NAILS BRACKETS AT EACH  
 END W/ 16 NAILS IN EACH HOLE - 10D  
 SEE PLAN

CORONA NAILS BRACKETS AT EACH  
 END W/ 16 NAILS IN EACH HOLE - 10D  
 SEE PLAN

CORONA NAILS BRACKETS AT EACH  
 END W/ 16 NAILS IN EACH HOLE - 10D  
 SEE PLAN

ROOF SHEATHING - SEE PLAN

DOUBLE 2X6 ROOF FRAMING

ROOF OF 2X8 @ 48" O.C. ALL W/ 1/4"  
 BRACK TOP AND BOTTOM CHAINS  
 DOUBLE PERFORA WOOD TRUSSES -  
 SEE PLAN

WALL STUDS - SEE  
 PLAN

CORONA NAILS BRACKETS AT EACH  
 END W/ 16 NAILS IN EACH HOLE  
 SEE PLAN

PERFORATED TRUSS  
 - SEE PLAN

DOUBLE 2X6 BOTTOM PLATE

ROOF SHEATHING - SEE PLAN

CORONA NAILS BRACKETS AT EACH  
 END W/ 16 NAILS IN EACH HOLE - 10D  
 SEE PLAN

DOUBLE 2X6 ROOF FRAMING

ROOF OF 2X8 @ 48" O.C. ALL W/ 1/4"  
 BRACK TOP AND BOTTOM CHAINS  
 DOUBLE PERFORA WOOD TRUSSES -  
 SEE PLAN

WALL STUDS - SEE  
 PLAN

CORONA NAILS BRACKETS AT EACH  
 END W/ 16 NAILS IN EACH HOLE  
 SEE PLAN

PERFORATED TRUSS  
 - SEE PLAN

DOUBLE 2X6 BOTTOM PLATE

ROOF SHEATHING - SEE PLAN

DOUBLE 2X6 CONTINUOUS TOP PLATE  
 WALL STUDS - SEE PLAN

HEADER - SEE PLAN

ROOF OF 2X8 @ 48" O.C. ALL W/ 1/4"  
 BRACK TOP AND BOTTOM CHAINS  
 DOUBLE PERFORA WOOD TRUSSES -  
 SEE PLAN

WALL STUDS - SEE  
 PLAN

CORONA NAILS BRACKETS AT EACH  
 END W/ 16 NAILS IN EACH HOLE  
 SEE PLAN

PERFORATED TRUSS  
 - SEE PLAN

DOUBLE 2X6 BOTTOM PLATE

ROOF SHEATHING - SEE PLAN

DOUBLE 2X6 CONTINUOUS TOP PLATE  
 WALL STUDS - SEE PLAN

HEADER - SEE PLAN

ROOF OF 2X8 @ 48" O.C. ALL W/ 1/4"  
 BRACK TOP AND BOTTOM CHAINS  
 DOUBLE PERFORA WOOD TRUSSES -  
 SEE PLAN

WALL STUDS - SEE  
 PLAN

CORONA NAILS BRACKETS AT EACH  
 END W/ 16 NAILS IN EACH HOLE  
 SEE PLAN

PERFORATED TRUSS  
 - SEE PLAN

DOUBLE 2X6 BOTTOM PLATE



URBAN ARCHITECTURAL GROUP  
102 West Street, Suite 200  
Charlotte, NC 28202  
www.urbanarch.com

Specs:



DATE: 04/15/18



VP ENGINEERING  
10006 Marvin Village Hall  
Charlotte, NC 28215  
Tel: 704.261.8800  
Fax: 704.261.8801  
www.vpengineering.com

NC LICENSE #C-2469

MARVIN VILLAGE  
HALL  
New Construction

10006 Marvin Village Hall  
Marvin, NC 28173

Table with project details: Date: 04/15/18, Project Number: 20044, Reused For: 04/15/18, Contributor Only: 04/15/18

PLUMBING SCHEDULE, NOTES AND LEGEND table with items P1 through P6 and their descriptions.

PLUMBING FIXTURE SPECIFICATIONS AND CONNECTION SCHEDULE

Main table with columns: SINK, FLOOR, WATER, etc., detailing fixture specifications and connection schedules for various plumbing fixtures.

1. CONSULT MANUFACTURER AND MANUFACTURER'S LITERATURE FOR THE QUALITY OF THE MATERIALS AND FINISHES. CHECK CONNECTIONS OF THESE AND SUBSTITUTE MANUFACTURES FOR APPROVED AND CHECK APPROVAL FROM TO INCREASE OF ANY PARTS. INFORMATION ON ALTERNATE PARTS PROVIDED BY THE CONTRACTOR SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT. APPROVED WITH ACCEPTANCE OF THAT PART FOR THE ALTERNATE PARTS AS A WHOLE.

PLUMBING GENERAL NOTES

- GENERAL REQUIREMENTS: 1. PROVIDE AND INSTALL COMPLETE SYSTEMS OF HOT WATER AND COLD WATER... 2. DRYER EXHAUST SYSTEMS... 3. FLOOR DRAINAGE... 4. FLOOR DRAINAGE... 5. FLOOR DRAINAGE... 6. FLOOR DRAINAGE... 7. FLOOR DRAINAGE... 8. FLOOR DRAINAGE...

- SHOCK ARRESTOR SCHEDULE: TABLE listing shock arrestor specifications for various pipe sizes and materials. 1. PROVIDE SHOCK ARRESTORS AS SPECIFIED PER SCHEDULE.

- CONNECTIONS: 1. PROVIDE AND INSTALL A COMPLETE SYSTEM OF HOT AND COLD WATER AND WASTE... 2. PROVIDE AND INSTALL A COMPLETE SYSTEM OF HOT AND COLD WATER AND WASTE... 3. PROVIDE AND INSTALL A COMPLETE SYSTEM OF HOT AND COLD WATER AND WASTE... 4. PROVIDE AND INSTALL A COMPLETE SYSTEM OF HOT AND COLD WATER AND WASTE... 5. PROVIDE AND INSTALL A COMPLETE SYSTEM OF HOT AND COLD WATER AND WASTE...





ARCHITECTURAL GROUP  
 1214 Main Street, Suite 202  
 704-841-2442  
 www.urbandesign.com

Scale:

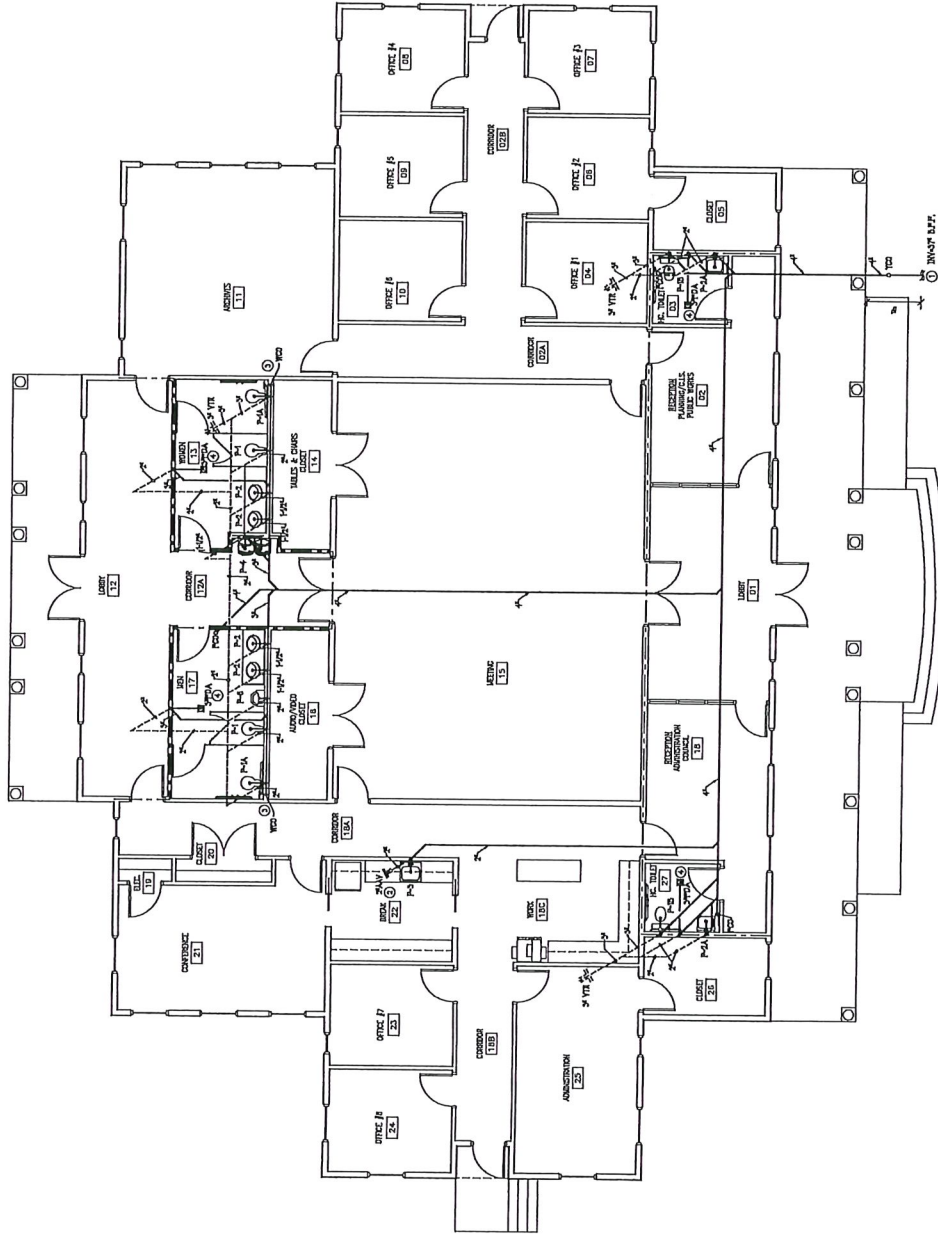


VP ENGINEERING  
 CONSULTING ENGINEERS, P.A.  
 2810 Old Airport Road, Suite 110  
 Raleigh, NC 27607  
 919-876-7500  
 NC LICENSE #P-2469

**MARVIN VILLAGE HALL**  
 New Construction

10006 Marvin School Rd  
 Marvin, NC 28173

Date:	03.05.21
Project Number:	2020-46
Issued For:	
Construction Only:	03.05.21
<b>BUILDING SANITARY WASTE PLAN</b>	
<b>P2</b>	
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- CONSTRUCTIONS NOTES**
1. ALL SANITARY WASTE LINE USE THE 1/2" O.D. 150 PSI PLUMBING WASTE PLUMBING SYSTEM TO BE SET AT 2" DEPTH AT POINT OF CHASE TRUCK.
  2. PROVIDE 2" A.S.J. INSTALLER PER MANUFACTURERS REQUIREMENTS.
  3. WBS TO BE A FULL SIZE 4" ANCHOR WARE LINE OF TO VERIFY EXACT LOCATION BEFORE PERFORMING ANY WORK.
  4. VERIFY EXACT LOCATION OF WBS BEFORE ANY WORK.

NOTE: ALL WORK SHALL BE PERFORMED IN ACCORDANCE TO LOCAL AUTHORITY REGULATIONS AND STANDARDS.

**1 BUILDING SANITARY WASTE PLAN**  
 P2











Scale:



**VP ENGINEERING**  
Professional Engineer  
CONSULTING ENGINEERS, P.A.  
2100 South Lakes Blvd, Suite 100  
Falls Church, VA 22046  
703-271-7575

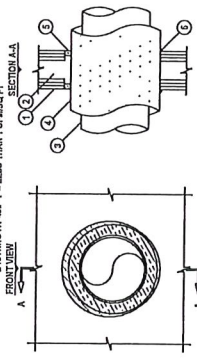
NC LICENSE #0-2469

**MARVIN VILLAGE HALL**  
New Construction

10006 Marvin School Rd  
Marvin, NC 28173

Date:	03.03.21
Project Number:	2020-06
Issued For:	
Consulting Date:	03.03.21
<b>PIPE PENETRATION DETAILS</b>	
<b>P6</b>	
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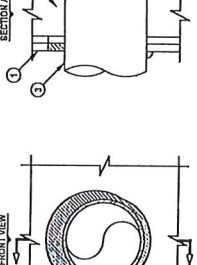
UL-GUL SYSTEM NO. WJ-3829  
**INSULATED METAL PIPE THROUGH GYPSUM WALL ASSEMBLY**  
FRAMING = 2-1/2" x 4" LAMBS  
L-RATING AT AMBIENT = 4 SPRING FT  
L-RATING AT 40°F = 1.5 LESS THAN 1 CPM/80 FT



1. EXTERIOR WALL ASSEMBLY SHALL BE CLASIFIED DOOR, WALL, OR WINDOW ASSEMBLY PER 2-1/2" x 4" LAMBS.
2. EXTERIOR WALL ASSEMBLY SHALL BE CLASIFIED DOOR, WALL, OR WINDOW ASSEMBLY PER 2-1/2" x 4" LAMBS.
3. EXTERIOR WALL ASSEMBLY SHALL BE CLASIFIED DOOR, WALL, OR WINDOW ASSEMBLY PER 2-1/2" x 4" LAMBS.
4. EXTERIOR WALL ASSEMBLY SHALL BE CLASIFIED DOOR, WALL, OR WINDOW ASSEMBLY PER 2-1/2" x 4" LAMBS.
5. EXTERIOR WALL ASSEMBLY SHALL BE CLASIFIED DOOR, WALL, OR WINDOW ASSEMBLY PER 2-1/2" x 4" LAMBS.
6. EXTERIOR WALL ASSEMBLY SHALL BE CLASIFIED DOOR, WALL, OR WINDOW ASSEMBLY PER 2-1/2" x 4" LAMBS.

NOTES:  
1. MAXIMUM DIAMETER OF PIPE SHALL BE 4" UNLESS OTHERWISE NOTED.  
2. MAXIMUM DIAMETER OF PIPE SHALL BE 4" UNLESS OTHERWISE NOTED.  
3. MAXIMUM DIAMETER OF PIPE SHALL BE 4" UNLESS OTHERWISE NOTED.  
4. MAXIMUM DIAMETER OF PIPE SHALL BE 4" UNLESS OTHERWISE NOTED.  
5. MAXIMUM DIAMETER OF PIPE SHALL BE 4" UNLESS OTHERWISE NOTED.  
6. MAXIMUM DIAMETER OF PIPE SHALL BE 4" UNLESS OTHERWISE NOTED.

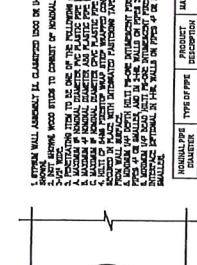
UL-GUL SYSTEM NO. WJ-1884  
**METAL PIPE THROUGH GYPSUM WALL ASSEMBLY**  
FRAMING = 2-1/2" x 4" LAMBS  
L-RATING AT AMBIENT = 1 CPM/150 FT  
L-RATING AT 40°F = 1.5 LESS THAN 1 CPM/150 FT



1. EXTERIOR WALL ASSEMBLY SHALL BE CLASIFIED DOOR, WALL, OR WINDOW ASSEMBLY PER 2-1/2" x 4" LAMBS.
2. EXTERIOR WALL ASSEMBLY SHALL BE CLASIFIED DOOR, WALL, OR WINDOW ASSEMBLY PER 2-1/2" x 4" LAMBS.
3. EXTERIOR WALL ASSEMBLY SHALL BE CLASIFIED DOOR, WALL, OR WINDOW ASSEMBLY PER 2-1/2" x 4" LAMBS.
4. EXTERIOR WALL ASSEMBLY SHALL BE CLASIFIED DOOR, WALL, OR WINDOW ASSEMBLY PER 2-1/2" x 4" LAMBS.
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6. EXTERIOR WALL ASSEMBLY SHALL BE CLASIFIED DOOR, WALL, OR WINDOW ASSEMBLY PER 2-1/2" x 4" LAMBS.

NOTES:  
1. MAXIMUM DIAMETER OF PIPE SHALL BE 4" UNLESS OTHERWISE NOTED.  
2. MAXIMUM DIAMETER OF PIPE SHALL BE 4" UNLESS OTHERWISE NOTED.  
3. MAXIMUM DIAMETER OF PIPE SHALL BE 4" UNLESS OTHERWISE NOTED.  
4. MAXIMUM DIAMETER OF PIPE SHALL BE 4" UNLESS OTHERWISE NOTED.

UL SYSTEM NO. WJ-2465  
**PLASTIC PIPE THROUGH GYPSUM WALL ASSEMBLY**  
FRAMING = 2-1/2" x 4" LAMBS  
L-RATING AT AMBIENT = 1.5 CPM/80 FT  
L-RATING AT 40°F = 1.5 LESS THAN 1 CPM/80 FT



MINIMUM PIPE DIAMETER	TYPE OF PIPE	PRODUCT DESCRIPTION	MAXIMUM DIAMETER OF OPENING	MINIMUM SPACING BETWEEN OPENINGS	MAXIMUM SPACING BETWEEN OPENINGS
1/2"	ALL	CP 4142-1/2"	3/4"	24"	24"
3/4"	ALL	CP 4142-3/4"	1"	24"	24"
1"	ALL	CP 4142-1"	1 1/4"	24"	24"
1 1/4"	ALL	CP 4142-1 1/4"	1 3/4"	24"	24"
1 3/4"	ALL	CP 4142-1 3/4"	2"	24"	24"
2"	ALL	CP 4142-2"	2 1/4"	24"	24"
2 1/4"	ALL	CP 4142-2 1/4"	2 3/4"	24"	24"
2 3/4"	ALL	CP 4142-2 3/4"	3"	24"	24"
3"	ALL	CP 4142-3"	3 1/4"	24"	24"

NOTE: 1. MAXIMUM DIAMETER OF PIPE SHALL BE 4" UNLESS OTHERWISE NOTED.  
2. MAXIMUM DIAMETER OF PIPE SHALL BE 4" UNLESS OTHERWISE NOTED.  
3. MAXIMUM DIAMETER OF PIPE SHALL BE 4" UNLESS OTHERWISE NOTED.  
4. MAXIMUM DIAMETER OF PIPE SHALL BE 4" UNLESS OTHERWISE NOTED.



SCALE: 1/8" = 1'-0"  
1/4" = 1'-0"  
1/2" = 1'-0"  
3/4" = 1'-0"  
1" = 1'-0"









ARCHITECTURAL GROUP  
1122 Main Street, Suite 120  
Charlotte, NC 28202  
704.333.8877  
www.urbandesign.com

Scale:



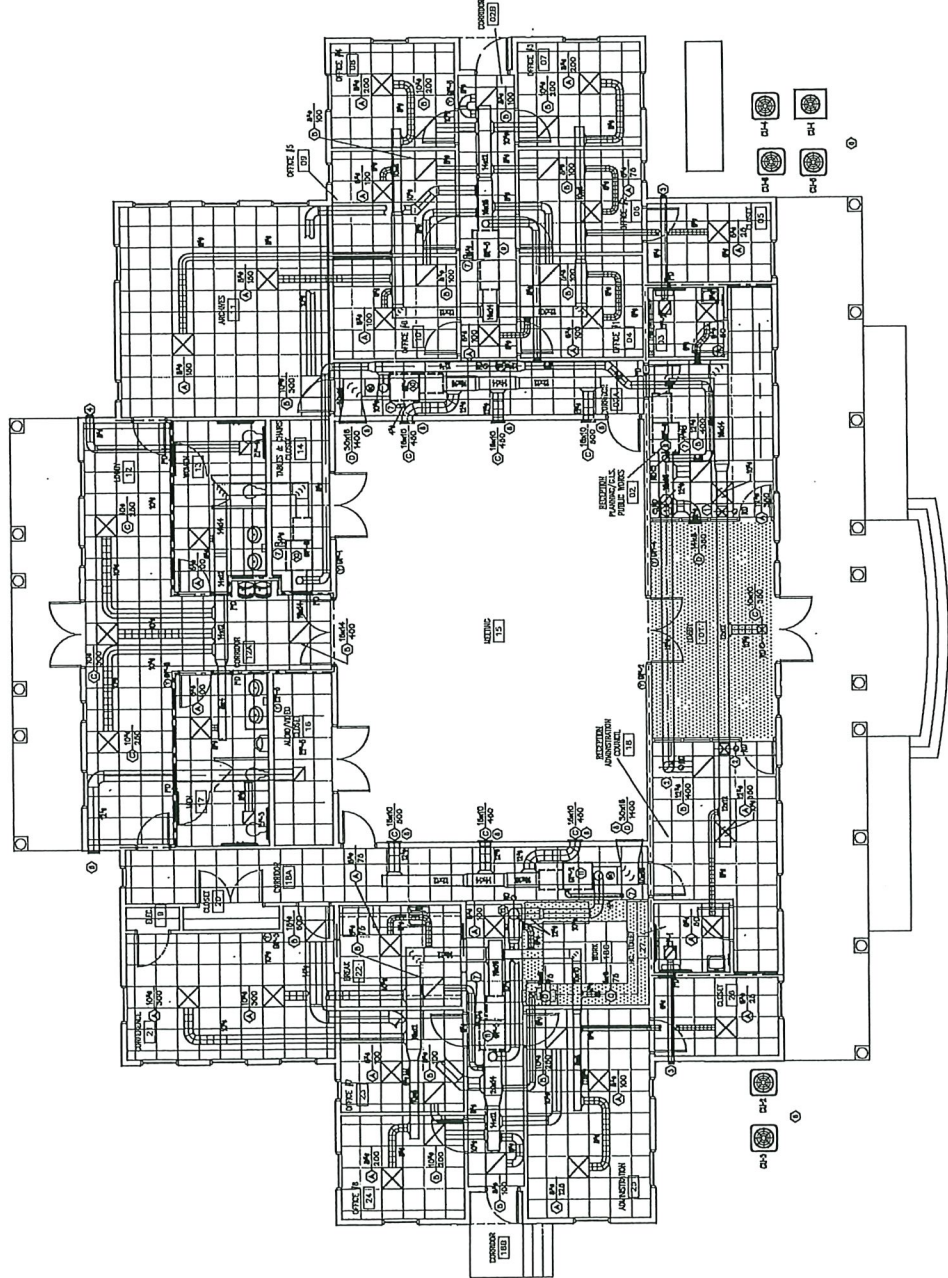
VP ENGINEERING  
10006 Marvin School Rd  
Marvin, NC 28173  
919.441.2222  
www.vpe.com

MARVIN VILLAGE  
HALL  
New Construction

10006 Marvin School Rd  
Marvin, NC 28173

Date:	03.03.21
Project Number:	27044
Issued For:	
Contributor Only:	03.03.21
MECHANICAL FLOOR PLAN	
M3	
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- WORK NOTES**
1. ALL TRIM SHALL BE SET INTO THE BODY TRIMM SPACE AND PROVIDE A FINISHED SURFACE. TRIM SHALL BE SET THROUGH THE BODY TRIMM SPACE AND FINISHED WITH THE BODY TRIMM SPACE FINISH. PROVIDE AN ARCHITECTURAL CORNER AT THE CORNER OF THE BODY TRIMM SPACE AND FINISH.
  2. ALL TRIM SET DOWN FROM THE BODY TRIMM SPACE AND PROVIDE AN ARCHITECTURAL CORNER AT THE CORNER OF THE BODY TRIMM SPACE AND FINISH.
  3. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  4. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  5. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  6. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  7. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
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  9. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  10. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  11. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  12. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  13. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  14. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  15. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  16. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  17. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  18. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  19. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.
  20. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT. PROVIDE AN ARCHITECTURAL CORNER THROUGH THE WALL AND TRIMMAGE BY TRIMMAGE WALL CAP PROVIDE BY UNDERCUT.



1 FIRST FLOOR MECHANICAL PLAN  
M1-F-107











100 S. 10th St.  
Charlotte, NC 28202  
704.333.8800  
www.urbanarchitect.com

Scale:



**VP ENGINEERING**  
CONSTRUCTION SERVICES P.A.  
10000 Marlin School Rd  
Marvin, NC 28173  
704.275.7575  
www.vpe.com  
NC LICENSE #0-2495

**MARVIN VILLAGE HALL**  
New Construction

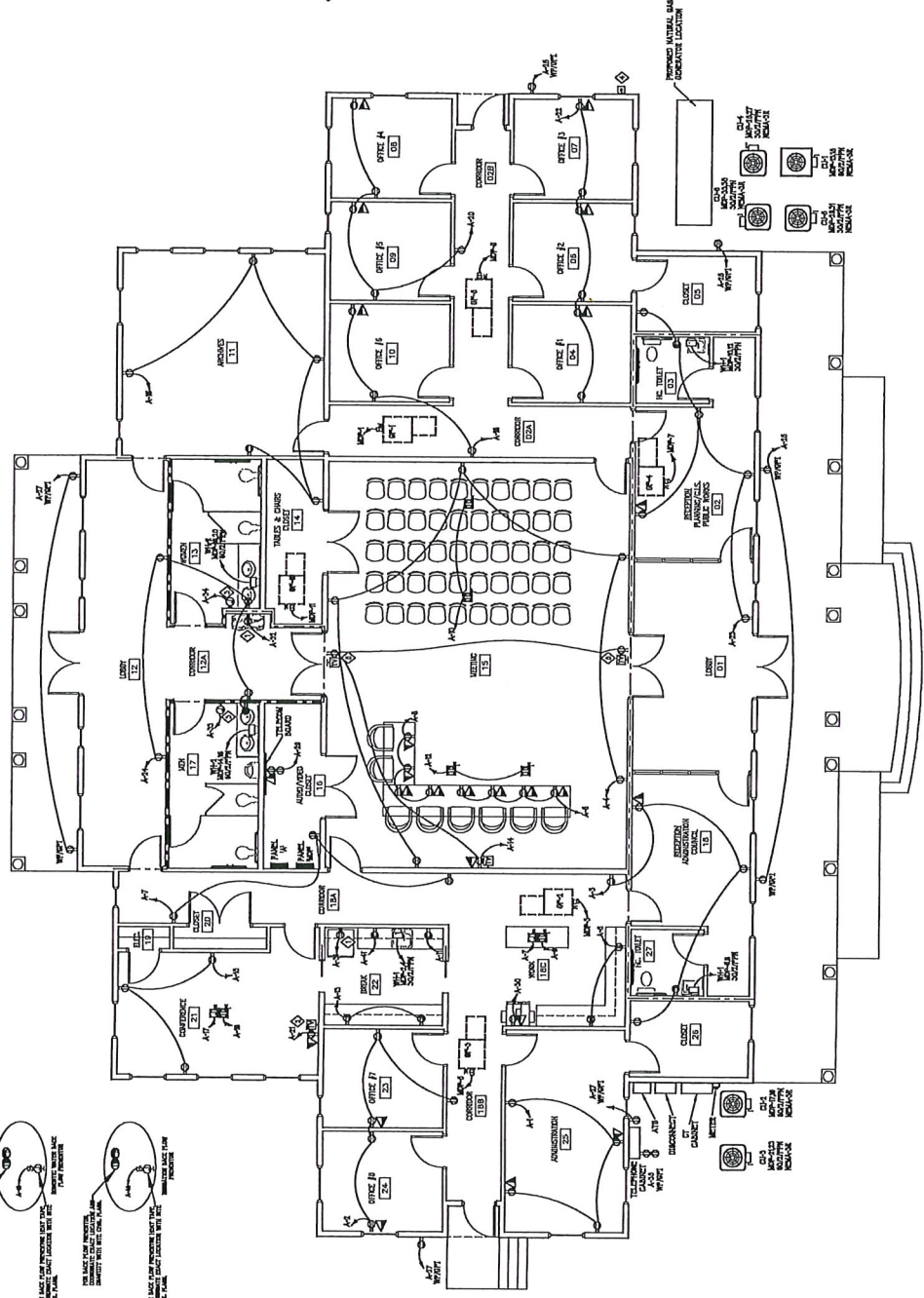
10000 Marlin School Rd  
Marvin, NC 28173

Date:	03.05.21
Project Name:	2024-46
Issue For:	03.05.21
Contributor Only:	
<b>FIRST FLOOR ELECTRICAL POWER PLAN</b>	
<b>E2</b>	
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- GENERAL POWER NOTES:**
- P1. PROVIDE TRANSDUCERS FOR AIR PRESSURE WITH BATTERY BACKUPS. COORDINATE THE LOCATION OF TRANSDUCERS WITH THE MECHANICAL CONTRACTOR. PROVIDE THE TRANSDUCERS WITH THE BATTERY BACKUPS WITH BATTERY TRANSDUCERS TO MONITOR THE TRANSDUCERS. PROVIDE THE TRANSDUCERS WITH BATTERY TRANSDUCERS TO MONITOR THE TRANSDUCERS. PROVIDE THE TRANSDUCERS WITH BATTERY TRANSDUCERS TO MONITOR THE TRANSDUCERS.
  - P2. THE MAIN BUS CENTER FOR THE SERVICE BUILDING SHALL BE LOCATED IN THE SERVICE BUILDING. THE MAIN BUS CENTER SHALL BE LOCATED IN THE SERVICE BUILDING. THE MAIN BUS CENTER SHALL BE LOCATED IN THE SERVICE BUILDING.
  - P3. ALL TRANSDUCERS SHALL BE LOCATED IN THE SERVICE BUILDING. THE TRANSDUCERS SHALL BE LOCATED IN THE SERVICE BUILDING. THE TRANSDUCERS SHALL BE LOCATED IN THE SERVICE BUILDING.
  - P4. WHEN A TRANSDUCER IS LOCATED IN THE SERVICE BUILDING, THE TRANSDUCER SHALL BE LOCATED IN THE SERVICE BUILDING. THE TRANSDUCER SHALL BE LOCATED IN THE SERVICE BUILDING.
  - P5. WHEN LIGHT SWITCHES AND AUTO-CENTERS ARE LOCATED IN THE SERVICE BUILDING, THE SWITCHES SHALL BE LOCATED IN THE SERVICE BUILDING. THE SWITCHES SHALL BE LOCATED IN THE SERVICE BUILDING.
  - P6. PROVIDE BATTERY BACKUPS FOR TRANSDUCERS. THE BATTERY BACKUPS SHALL BE LOCATED IN THE SERVICE BUILDING. THE BATTERY BACKUPS SHALL BE LOCATED IN THE SERVICE BUILDING.
  - P7. PROVIDE BATTERY BACKUPS FOR TRANSDUCERS. THE BATTERY BACKUPS SHALL BE LOCATED IN THE SERVICE BUILDING. THE BATTERY BACKUPS SHALL BE LOCATED IN THE SERVICE BUILDING.
  - P8. PROVIDE BATTERY BACKUPS FOR TRANSDUCERS. THE BATTERY BACKUPS SHALL BE LOCATED IN THE SERVICE BUILDING. THE BATTERY BACKUPS SHALL BE LOCATED IN THE SERVICE BUILDING.

**CLASSIFIED NOTES:**

- 1. SPEC TRANSDUCERS WITH BATTERY BACKUPS IN PANEL.
- 2. PROVIDE TRANSDUCERS WITH BATTERY BACKUPS IN PANEL.
- 3. PROVIDE TRANSDUCERS WITH BATTERY BACKUPS IN PANEL.
- 4. PROVIDE TRANSDUCERS WITH BATTERY BACKUPS IN PANEL.
- 5. PROVIDE TRANSDUCERS WITH BATTERY BACKUPS IN PANEL.



11/11/21  
FIRST FLOOR ELECTRICAL POWER PLAN



ARCHITECTURAL GROUP  
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WP ENGINEERS  
 2821 URBAN ARCHITECTURAL GROUP P.A.  
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MARVIN VILLAGE  
 HALL  
 New Construction

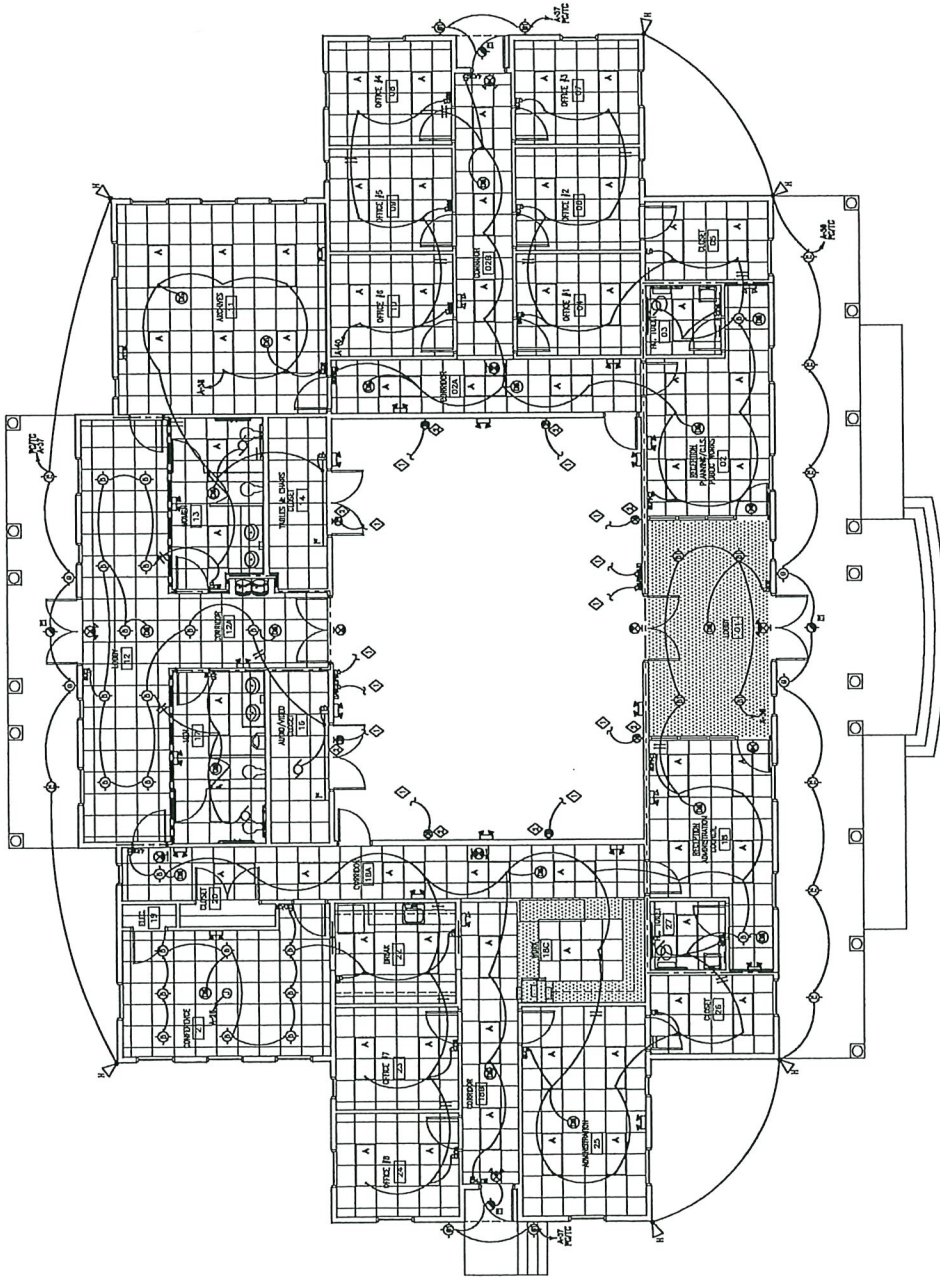
10006 Marvin School Rd  
 Marvin, NC 28173

Date:	03.03.21
Project Number:	202044
Issue/For:	
Construction Only:	03.03.21
<b>FIRST FLOOR ELECTRICAL LIGHTING PLAN</b>	
<b>E3</b>	
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- GENERAL LIGHTING NOTES:**
1. LIGHTING FIXTURES SHALL BE COORDINATED WITH OWNER FOR THE EXACT LOCATION OF ALL LIGHTING FIXTURES.
  2. LIGHTING DESIGN FOR THIS PROJECT ASSUMES THE PERFORMANCE OF THE CEILING AND REFLECTANCE ON THE WALLS AND USE REFLECTANCE ON THE FLOOR.
  3. LIGHT FIXTURES SHALL NOT BE INTERFERED.
  4. IN ROOM LOCATIONS OTHER THAN HALLS AND UNASSIGNED AREAS, ALL FLOORMOUNTED LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LIGHTING DESIGN. THE LIGHTING DESIGN SHALL BE BASED ON THE LIGHTING DESIGN. THE LIGHTING DESIGN SHALL BE BASED ON THE LIGHTING DESIGN.
  5. EXISTING LIGHTING FIXTURES SHALL BE RELOCATED AS NECESSARY TO BE INSTALLED WITHOUT INTERFERING WITH THE EXISTING LIGHTING FIXTURES.
  6. ALL WALL MOUNTED AND RECESSED LIGHTS SHALL BE CONNECTED TO AN UNBUNDLED BUS OF THE SAME TYPE AND VOLTAGE. UNBUNDLED BUSES IN CONTACT WITH OTHER ELECTRICAL SYSTEMS SHALL BE PROTECTED BY AN APPROPRIATE METHOD.
  7. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LIGHTING DESIGN. THE LIGHTING DESIGN SHALL BE BASED ON THE LIGHTING DESIGN. THE LIGHTING DESIGN SHALL BE BASED ON THE LIGHTING DESIGN.
  8. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LIGHTING DESIGN. THE LIGHTING DESIGN SHALL BE BASED ON THE LIGHTING DESIGN. THE LIGHTING DESIGN SHALL BE BASED ON THE LIGHTING DESIGN.
  9. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LIGHTING DESIGN. THE LIGHTING DESIGN SHALL BE BASED ON THE LIGHTING DESIGN. THE LIGHTING DESIGN SHALL BE BASED ON THE LIGHTING DESIGN.
  10. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LIGHTING DESIGN. THE LIGHTING DESIGN SHALL BE BASED ON THE LIGHTING DESIGN. THE LIGHTING DESIGN SHALL BE BASED ON THE LIGHTING DESIGN.

**ASSIGNED NOTES**

1. TO LIGHT AT CEILING.
2. WALL MOUNTED OCCUPANT SENSORS TO BE MOUNTED AT 4' A.P.



1  
 B  
 1ST FLOOR ELECTRICAL LIGHTING PLAN  
 INT-107







ARCHITECTURAL GROUP  
1122 MARKET ST. 3RD FLOOR  
DURHAM, NC 27701  
919.286.1100  
www.urbanarchitectural.com

Scale:



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Industrial Electric Partners  
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DURHAM, NC 27701  
919.286.1100  
www.vpe.com

MARVIN VILLAGE  
HALL  
New Construction

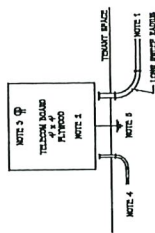
10006 Marvin School Rd  
Marvin, NC 28173

Date:	03/25/21
Project Number:	202046
Issued For:	03/23/21
Construction Only:	

ELECTRICAL PANEL SCHEDULES,  
RISERS & DETAILS

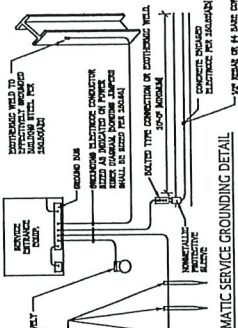
E5

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1122 Market Street, Durham, NC 27701



TELECOM RISER DIAGRAM  
15 15 15

- TELECOM RISER NOTES:
1. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.
  2. PROVIDE DANCE RECEPTACLE OR A CONDUIT CABLE FOR THE TELEPHONE AND OTHER COMMUNICATION CABLE.
  3. PROVIDE #4 GROUND TO SERVICE BRANCH LAY WITH JOINTS IN PLACE FOR THE PROTECTION OF TELECOM EQUIPMENT.
  4. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.

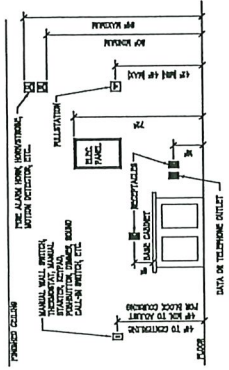


SCHEMATIC SERVICE GROUNDING DETAIL  
15 15 15

- GROUNDING DETAIL NOTES:
1. ALL ELECTRICAL SERVICE SHALL BE PROVIDED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.
  2. PROVIDE #4 GROUND TO SERVICE BRANCH LAY WITH JOINTS IN PLACE FOR THE PROTECTION OF TELECOM EQUIPMENT.
  3. PROVIDE DANCE RECEPTACLE OR A CONDUIT CABLE FOR THE TELEPHONE AND OTHER COMMUNICATION CABLE.
  4. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.

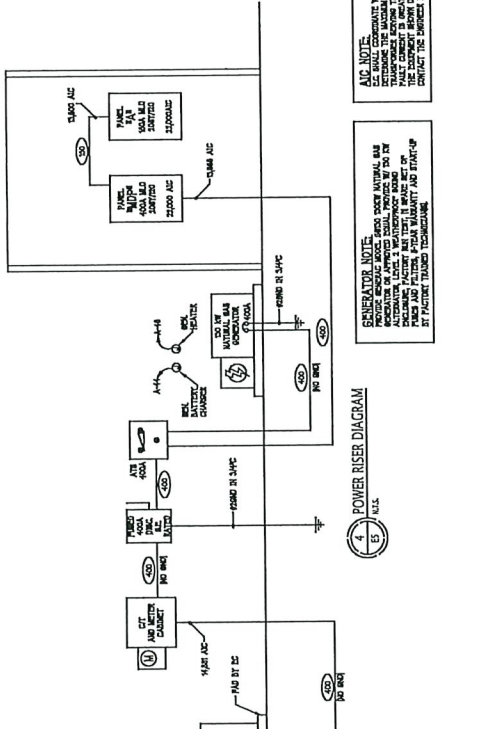
DESCRIPTION	PANEL A				PANEL B				PANEL C				PANEL D				PANEL E			
	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4
3-Phase 480V Service																				
1-Phase 240V Service																				
1-Phase 120V Service																				
TELEPHONE																				
DATA																				
... (many more rows) ...																				
TOTAL CONNECTED DVA																				

NOTE: PROVIDE ALL WIRING IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.



TYPICAL DEVICE MOUNTING DETAIL  
15 15 15

TYPE OF PANEL OR BUS	CONDUCTOR TYPE	SIZE	ALUMINUM WIRE	SEC
3-Phase 480V Service	1-Phase 240V Service	1-Phase 120V Service	TELEPHONE	DATA
...	...	...	...	...



POWER RISER DIAGRAM  
15 15 15

ALL NOTES:  
1. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.

GENERATOR NOTES:  
1. PROVIDE ALL WIRING IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE MANUFACTURER'S INSTRUCTIONS.





Item D.7

BID TABULATION FOR VILLAGE OF MARVIN -  
VILLAGE HALL

3/23/2021

<u>General Contractor</u>	<u>NC General Contractor License Number</u>	<u>Instructions to Bidders</u>	<u>Bid Proposal Form with All Addendums (4) Acknowledged</u>	<u>History Documenting Experience with projects of similar</u>	<u>Execution of Bid Form</u>	<u>Proof of BID Bonding</u>	<u>HUB (MBE) Forms</u>	<u>Required MBE Amount</u>	<u>Actual MBE Amount</u>	<u>Proof of Current Insurance</u>	<u>Compliance with E-Verify (POST AWARD)</u>	<u>BASE BID</u>	<u>TOTAL OF ALL UNSUITABLES</u>	<u>BID DEPOSIT Amount</u>
C4 Builders	73522	yes	yes	yes	yes	yes	no	\$ 235,000.00	unkown			\$ 2,350,000.00	\$ 87,450.00	5%
Hoss Contracting	77611	Yes	Yes	Yes	Yes	yes	yes	\$ 149,880.00	24165			\$ 1,498,800.00	\$ 28,650.00	5%
Carolina Contracting	73282	yes	yes	Semi	yes	yes	yes	\$ 157,400.00	35185			\$ 1,574,000.00	\$ 36,350.00	5%
Randolph Builders	21477	Yes	Yes	Yes	Yes	Yes	yes	\$ 143,500.00	550			\$ 1,435,000.00	\$ 20,450.00	5%
Sonshine Construction	21631	yes	Yes	yes	yes	Yes	yes	\$ 155,235.53	47955	yes		\$ 1,552,355.28		70426.45
Edison Foard	1685	yes	yes	yes	yes	yes	yes	\$ 183,800.00	156627			\$ 1,838,000.00	\$ 91,150.00	5%
JM Cope	71908	yes	yes	yes	yes	yes	yes	\$ 177,000.00	180000			\$ 1,770,000.00	\$ 57,875.00	5%
Simon & Watson	46690	yes	yes	yes	yes	yes	yes	\$ 154,900.00	264000			\$ 1,549,000.00	\$ 91,823.00	5%
Southside Constructors	45931	yes	yes	yes	yes	yes	yes	\$ 162,900.00	167153			\$ 1,629,000.00	\$ 17,589.50	
KMD Construction	49998		yes	yes	yes	yes	yes	\$ 159,276.10	61352			\$ 1,592,761.00	\$ 65,100.00	5%

Second Lowest Bidde

Lowest Bidder



**INSTRUCTIONS TO BIDDERS**

The Village of Marvin (hereafter, the “Village” or “Owner”) will receive sealed bids for the following Project:

**PROJECT NAME:** Marvin Village Hall

**SCOPE OF WORK:** The scope of work includes the labor, material and equipment for the construction of a new 6,000 SF, one level wood framed structure with premium doors & windows which will be used for municipal and assembly use. The building is composed of general office and a 1-1/2 story central assembly space, core restroom facilities, various sized conference/community rooms and associated storage. General finishes are specified in the contract documents; all earthwork, paving and site utilities are included.

**BIDDING SUBSTITUTION/PRIOR APPROVAL REQUESTS:** Requests for changes in products, materials, equipment, and methods of construction from those indicated in the Bidding and Contracting Documents, submitted prior to receipt of bids. (See Attachments 1, 2 and 3, hereby incorporated by reference.)

**CONTRACT DOCUMENTS:** The Contract Documents are this Project Manual (which contains the Invitation to Bid, Instructions to Bidders, Bid Documents, Agreement, Forms, Supplementary General Conditions, MBE Guidelines, Dispute Resolution Requirements, and Specifications), the Plans & Drawings, and any addenda. Contractors shall adhere to the specifications in the project plans including but not limited to sheets SP1-SP3.

**BID DEADLINE:** All sealed bids must be submitted to the Village of Marvin either in person or by mail to the attention of Village Manager, Christina Amos, or Village Clerk, Austin Yow by March 23, 2021 at 12:00 p.m. E.S.T. at 10004 New Town Road, Marvin, NC 28173 at which time and location all bids will be opened publicly and read aloud by the Project Architect.

**TIMELINE:**

Project Advertisement	Monday, February 22, 2021
Bid Documents Available	Monday, February 22, 2021
Pre-Bid Meeting at 10:00 AM EST	Monday, February 22, 2021
Bids due by 12:00 PM EST	Tuesday, March 23, 2021
Village Council to Award Contract	Thursday, March 25, 2021
Completion of Project	8 months from Notice to Proceed

**CONTENT OF BID:** Each Bid must contain the following fully-completed forms / documents:

- Instructions to Bidders
- Bid Proposal Form
- Representative Projects Form
- Execution of Bid Form
- Bid Bond
- MBE Forms
- Bidding Substitution Request Form

**INSTRUCTIONS TO BIDDERS**

All Bids shall be placed in a sealed envelope with the following information printed on the outside of the envelope:

<b>BID FOR:</b>	<u>Marvin Village Hall</u> <i>Project Name</i>	<b>BID ID # 1000</b>
<b>BIDDER'S NAME:</b>	_____	
	<i>Contractor's Name</i>	
<b>DO NOT OPEN UNTIL:</b>	<u>March 23, 2021 12:00 p.m. E.S.T</u> <i>Bid Opening Date &amp; Time</i>	

**BID BOND:** Each proposal must be accompanied by a Bid Deposit of cash, certified check or a fully executed Bid Bond payable to the Village of Marvin in an amount of five percent (5%) of the gross amount of the base-bid proposal executed in accordance with and conditioned as prescribed by North Carolina General Statute 143-129 as amended.

**BIDS ARE FIRM OFFERS:** All Bids shall be firm offers to contract for 120 days from the Bid Deadline. Unless forfeited, Bid Bonds shall be returned to Bidders upon the earlier of Contract Award or 180 days from the Bid Deadline.

**BID PHASE CONTACT:** For questions regarding the Project or Instructions to Bidders, contact: Christina Alphin, Village Administrator. The Village will attempt to answer all questions in writing by addenda. **THE VILLAGE WILL NOT MAKE ORAL REPRESENTATIONS AND BIDDERS MAY NOT RELY ON ORAL REPRESENTATIONS.**

**ADDENDA:** Addenda will be filed on Village's website and delivered by email to all persons who have requested Contract Documents. The Bidder shall be responsible for inquiring if Addenda have been issued.

**SELECTION CRITERIA:** It is the intent of the Village to award a Contract to the lowest responsive, responsible Bidder provided the Bid has been submitted in accordance with the requirements of the Bidding Documents and does not exceed the funds available. However, the Village reserves the right to reject any and all bids. The Village reserves the sole right to waive informalities and irregularities in a Bid received and to accept the Bid which, in the Village's judgment, is in the Village's own best interests. Alternates will be reviewed in consideration of the overall project cost to determine feasibility within the project budget. The Village shall accept or reject any alternates in any order or combination. To determine the lowest bidder, the Village shall calculate the sum of the total base bid and/or the deduction or addition of the alternates, if accepted. Consideration will be given only to Bids from contractors who are properly licensed, bonded, experienced in the class of work proposed and who can refer to projects of similar magnitude and character that have been completed by them.

**ONLY 1 BID PER ENTITY:** No entity or person may submit or participate in the submission of more than one (1) Bid.

### **III. PROSECUTION AND PROGRESS**

#### **3.1 NOTICE TO PROCEED**

The Owner shall deliver to Contractor a written Notice to Proceed stating the date on which it is expected the Contractor will begin the Work and from which date Contract Time will be charged. The Contractor shall begin the Work to be performed under the contract within ten (10) calendar days of the date set in the Notice to Proceed, but in any event, the Contractor shall notify the Owner in writing at least 24 hours in advance of the time actual construction operations will begin.

#### **3.2 PROSECUTION AND PROGRESS**

Unless otherwise specified, the Contractor shall submit his/her progress schedule for the Owner's approval within fourteen (14) work days after execution of this Agreement. The Contractor's progress schedule, when approved by the Owner, may be used to establish major construction operations and to check on the progress of the Work.

If the Contractor falls significantly behind the submitted schedule, the Contractor shall, upon the Owner's request, submit a revised schedule for completion of the Work within the Contract Time and modify his/her operations to provide such additional materials, equipment, and labor necessary to meet the revised schedule. Should the prosecution of the Work be discontinued for any reason, the Contractor shall notify the Owner in writing at least 24 hours in advance of resuming operations.

The Contractor shall not commence any actual construction prior to the date set forth in the Notice to Proceed.

#### **3.3 TEMPORARY SUSPENSION OF THE WORK**

The Owner shall have the authority by written notice to the Contractor, to suspend the Work wholly, or in part, for such period or periods as the Owner may deem necessary, or for such time as is necessary due to the failure on the part of the Contractor to carry out orders given or to perform any or all of the Contractor's other duties under this Contract.

- A. If the Contractor is ordered by the Owner to suspend the Work under this Section due to an unforeseen cause not otherwise provided for in the other provisions of this Contract and over which the Contractor has no control, the Contractor may be reimbursed for actual money expended on the Work during the period of shutdown. No allowance will be made for anticipated profits. The period of shutdown shall be computed from the effective date of the Owner's order to suspend the Work to the effective date of the Owner's order to resume the Work. Claims for such compensation shall be filed with the Owner within the time period stated in the Owner's order to resume work. The Contractor shall submit with its claim information substantiating the amount shown on the claim.
- B. If the Work is suspended under this Section for an indefinite period, the Contractor shall perform the following duties:
  - 1. Suitably store all materials.

**INSTRUCTIONS TO BIDDERS**

**NEGOTIATIONS WITH APPARENT LOW BIDDER:** The Village reserves the right to negotiate with the lowest responsive and responsible bidder if the bid exceeds estimated costs or available funds. Negotiations may include reduction in bid price, modification, and/or reduction in scope of the work, substitution of materials, or any other alterations to the work, so that the low bid is reduced to within available funds, including a reasonable fund balance for contingency funds to be available during the course of construction.

**CONTRACT AWARD:** The Village will inform the Selected Bidder of its selection and request that the Selected Bidder submit the executed Agreement plus insurance certificates and payment and performance bonds. The Selected Bidder shall submit the requested documents so that they are received by Village within 10 calendar days (or such other time as designated by Village) from the date of notice of selection. The Selected Bidder's failure to do so will result in forfeiture of its bid bond. The contract shall not be deemed awarded and this Agreement shall not be binding on the Village unless and until both the Selected Bidder and Village have both executed the Agreement.

**MBE Goal:** The MBE participation goal for this contract is 10%.

Signed by: \_\_\_\_\_ Printed: \_\_\_\_\_  
(Contractor's authorized company representative)

Contractor's Name: \_\_\_\_\_

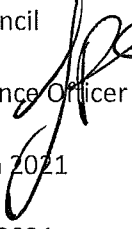




## VILLAGE OF MARVIN

10004 New Town Road | Marvin, NC | 28173 | Tel: (704) 843-1680 | Fax: (704) 843-1660 | [www.marvinnc.org](http://www.marvinnc.org)

To: Village of Marvin Council

From: Jamie Privuznak, Finance Officer 

Subject: Tax Refund for March 2021

Date: Thursday, March 25, 2021

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Attached is a tax refund of \$362.00 for the month of March 2021. All tax refunds must be approved by the Village of Marvin Council per GS105-368.



GENERAL ASSEMBLY OF NORTH CAROLINA  
SESSION 2021

HOUSE BILL \_\_\_\_\_

Short Title: DEFENSE OF PERSONS SEEKING ELECTED OFFICE

Sponsors: \_\_\_\_\_

Referred to: \_\_\_\_\_

A BILL TO BE ENTITLED  
AN ACT TO EXTEND N.C.G.S.A. § 160A-167 – DEFENSE OF EMPLOYEES AND OFFICERS;  
PAYMENT OF JUDGMENTS TO PERSONS SEEKING ELECTED OFFICE.

The General Assembly of North Carolina enacts:

**SECTION 1. (a)** G.S. 160A-167(a) reads as rewritten:

Upon request made by or in behalf of any member or former member or any person seeking elected office of the governing body of any authority, or any city, county, or authority employee or officer, or former employee or officer, any soil and water conservation supervisor or any local soil and water conservation employee, whether the employee is a district or county employee, or any member of a volunteer fire department or rescue squad which receives public funds, any city, authority, county, soil and water conservation district, or county alcoholic beverage control board may provide for the defense of any civil or criminal action or proceeding brought against him either in his official or in his individual capacity, or both, on account of any act done or omission made, or any act allegedly done or omission allegedly made, in the scope and course of his employment or duty as an employee or officer or within the scope of such campaign of the city, authority, county or county alcoholic beverage control board. The defense may be provided by the city, authority, county or county alcoholic beverage control board by its own counsel, or by employing other counsel, or by purchasing insurance which requires that the insurer provide the defense. Providing for a defense pursuant to this section is hereby declared to be for a public purpose, and the expenditure of funds therefor is hereby declared to be a necessary expense. Nothing in this section shall be deemed to require any city, authority, county or county alcoholic beverage control board to provide for the defense of any action or proceeding of any nature.

**SECTION 1. (b)** G.S. 160A-167(b) reads as rewritten:

Any city council or board of county commissioners may appropriate funds for the purpose of paying all or part of a claim made or any civil judgment entered against any of its members or former members or any persons seeking elected office of the governing body of any authority, or any city, county, or authority employees or officers, or former employees or officers, or any soil and water conservation supervisor or any local soil and water conservation employee, whether the employee is a district or county employee, when such claim is made or such judgment is rendered as damages on account of any act done or omission made, or any act allegedly done or omission allegedly made, in the scope and course of his employment or duty as a member or former member or persons seeking elected office of the governing body of any authority, or any city, county, district, or authority employee or officer of the city, authority, district, or county; provided, however, that nothing in this section shall authorize any city, authority, district, or county to appropriate funds for the purpose of paying any claim made or civil judgment entered against any of its members or former members or

[persons seeking elected office](#) of the governing body of any authority, or any city, county, district, or authority employees or officers or former employees or officers if the city council or board of county commissioners finds that such members or former members [or persons seeking elected office](#) of the governing body of any authority, or any city, county, or authority employee or officer acted or failed to act because of actual fraud, corruption or actual malice on his part. Any city, authority, or county may purchase insurance coverage for payment of claims or judgments pursuant to this section. Nothing in this section shall be deemed to require any city, authority, or county to pay any claim or judgment referred to herein, and the purchase of insurance coverage for payment of any such claim or judgment shall not be deemed an assumption of any liability not covered by such insurance contract, and shall not be deemed an assumption of liability for payment of any claim or judgment in excess of the limits of coverage in such insurance contract.

**SECTION 1. (c)** G.S. 160A-167(c) reads as rewritten:

Subsection (b) shall not authorize any city, authority, or county to pay all or part of a claim made or civil judgment entered unless (1) notice of the claim or litigation is given to the city council, authority governing board, or board of county commissioners as the case may be prior to the time that the claim is settled or civil judgment is entered, and (2) the city council, authority governing board, or board of county commissioners as the case may be shall have adopted, and made available for public inspection, uniform standards under which claims made or civil judgments entered against members or former members [or persons seeking elected office](#) of the governing body of any authority, or any city, county, or authority employees or officers, or former employees or officers, shall be paid.

**SECTION 1. (d)** G.S. 160A-167(e) is added as follows:

For the purposes of this section, “persons seeking elected office” means a person actively campaigning for elective office of the governing body of any authority, city, county or district that was properly registered with the governing board of elections.

**SECTION 1. (e)** G.S. 160A-167(f) is added as follows:

For the purposes of this section, persons seeking elected office may seek reimbursement for costs and expenses paid prior to the effective date of the amendment allowing payment for such defense costs allowed under subsection (a) and any claim made or civil judgment entered allowed under subsection (b) for a period up to four (4) years prior to the effective date of the amendment.

**SECTION 1. (f)** G.S. 160A-209(c)(10a) reads as rewritten:

Defense of Employees and Officers.--To provide for the defense of, and payment of civil judgments against, employees and officers or former employees and officers, [or any person seeking elected office](#), as authorized by this Chapter.

**SECTION 2.** The remaining provisions of N.C.G.S.A. § 160A-167 are reenacted and shall remain in full force and effect and are incorporated in this act by reference.

**SECTION 3.** This act is effective when it becomes law.